

**RICHLAND HILLS CITY COUNCIL
REGULAR MEETING AGENDA
JUNE 14, 2021
CITY HALL, 3200 DIANA DRIVE**

The Work Session and Regular Session are open to the public. If Executive Session is required, it will be held in the Council Conference Room, and is closed to the public. Please note that although the council will generally consider the items on the agenda in the order shown below, the Council may elect to re-order items in order to accommodate the needs of the council, city staff, presenters, or the public generally. Therefore, members of the public interested in any agenda item are encouraged to be in attendance at the start of the meeting.

CITY COUNCIL WORK SESSION – 6:30 PM

1. Executive Session: Pursuant to the Open Meetings Act, Chapter 551, Texas Government Code, Sec. 551.071, Sec. 551.072, Sec. 551.073, Sec. 551.074, Sec. 551.076, Sec. 551.087 and Sec. 418.0183 (f) and 418.106 (d) & (e) of the Texas Government Code (Texas Disaster Act). Refer to posted list attached hereto and incorporated herein.
2. Discuss possible amendments to Ordinance 1434-21 regulating Boarding Houses
3. Discuss items and presentations listed on tonight's City Council Agenda.

REGULAR SESSION – 7:00 PM

CALL TO ORDER

INVOCATION AND PLEDGES OF ALLEGIANCE

1. PRESENTATIONS

- A. Texas Coalition for Affordable Power 20th Anniversary Recognition
- B. Fire Department Badge Pinning Ceremony
- C. Life-Saving Awards Presentation
- D. Citizen Appearances/Public Comments

Citizens who have signed a card to speak to the City Council will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the presentation is on the agenda, the city staff and City Council members are prevented from discussion of the subject and may respond only with statements of factual information or existing city policy. Public comment will not be taken on items that the Council has previously considered in a public hearing.

2. CONSENT AGENDA

All items listed below are considered to be routine by the City Council and will be enacted with one motion. There will be no separate discussion of the consent agenda items, unless a Councilmember or citizen so requests, in which event the item will be removed from the consent agenda and considered in its normal sequence. Approval of the consent agenda authorizes the City Manager to implement each item in accordance with staff recommendations.

- A. Approve minutes from the May 24, 2021 City Council Regular Meeting
- B. Approve update of authorized representatives at the Federal Reserve Bank of Boston for the collateral securities held at the Federal Reserve that back the City's deposits at JP Morgan Chase Bank, N.A.
- C. Approve Resolution 517-19A authorizing the change of authorized representatives for the Texas Local Government Investment Pool (TexPool)
- D. Approve Resolution 541-21 authorizing the change of authorized representatives for the Texas Short Term Asset Reserve Program (TexSTAR)
- E. Approve Easement and Right of Way Agreement with Oncor Electric Delivery for 8,826 square feet or 0.2026 acres for a street crossing at Lavon Drive and Rosebud Lane and a 24" storm drain line

3. PUBLIC HEARINGS, MEETINGS, AND OTHER RELATED ITEMS

- A. Consider a replat of Hiley Mazda Addition, Lot 1, Block 1 of Tract F-R and Tract C of South Hayworth Addition, City of Hurst and City of Richland Hills, Tarrant County, Texas otherwise known as 625 NE Loop 820, Hurst, Texas 76053 **PUBLIC HEARING**

4. ORDINANCES & RESOLUTIONS AND OTHER RELATED ITEMS

- A. Consider Ordinance 1412-20A amending the Municipal Fee Schedule

5. CONTRACTS, AGREEMENTS, BID AWARDS AND OTHER RELATED ITEMS

- A. Consider bid award to ANA Site Construction, LLC for the FY 2021 Street Improvement Fund Projects

6. OTHER ITEMS FOR CONSIDERATION

- A. Consider approval of electronic sign request for the 7-Eleven located at 2625 Handley Ederville Road

7. REPORTS & DISCUSSIONS

- A. None

8. COMMUNITY INTEREST ITEMS

This is a standing item on the agenda of every regular meeting of the City Council. (The Texas Open Meetings Act effective September 1, 2009, provides that *“a quorum of the city council may receive from municipal staff, and a member of the governing body may make, a report regarding items of community interest during a council meeting without having given notice of the subject of the report, provided no action is taken or discussed.”* The Open Meetings Act does not allow Council to discuss an item concerning pending City Council business unless it is specifically, appropriately posted on the agenda.) An “item of community interest” includes the following:

- information regarding holiday schedules;
- honorary recognitions of city officials, employees, or other citizens;
- reminders about upcoming events sponsored by the city or other entity that is scheduled to be attended by a city official or city employee; and
- announcements involving imminent public health and safety threats to the city

9. EXECUTIVE SESSION

Executive Session: Pursuant to the Open Meetings Act, Chapter 551, Texas Government Code, Sec. 551.071, Sec. 551.072, Sec. 551.073, Sec. 551.074, Sec. 551.076, Sec. 551.087 and Sec. 418.0183 (f) and 418.106 (d) & (e) of the Texas Government Code (Texas Disaster Act). Refer to posted list attached hereto and incorporated herein. **Executive Session may be held, under these exceptions, at any time during the meeting**

that a need arises for the City Council to seek advice from the City Attorney as to the posted subject matter of this City Council meeting.

Reconvene into open session for possible action resulting from any items posted and legally discussed in Executive Session.

10. ADJOURNMENT

CERTIFICATE

I hereby certify that the above agenda was posted on this the **10th day of June 2021 by 5:30 p.m.**, on the official bulletin board at the Richland Hills City Hall, 3200 Diana Drive, Richland Hills, Texas.



Cathy Bourg

Cathy Bourg
City Secretary

ACCESSIBILITY STATEMENT

The Facility is wheelchair accessible. If you plan to attend this meeting and you have a disability that requires special arrangements at the meeting, please notify the City Secretary 48 hours in advance of the meeting so that reasonable accommodations can be made. City of Richland Hills (817) 616-3810.

EXECUTIVE SESSION: Pursuant to the Open Meetings Act, Chapter 551, Texas Government Code, executive session may be held under one or more of Sections 551.071, 551.072, 551.073, 551.074, 551.076, 551.087, 413.183 (f) and 418.106 (d) & (e), either at the end of the Regular Session or at any time during the meeting on any item on the agenda if a need arises for the City Council to seek advice from the City Attorney or otherwise convene in closed session as permitted by such sections of the Open Meetings Act. The City Council may take action on any agenda item listed for executive session consideration upon reconvening in open session. Please refer to agenda for the items posted. The sections referenced above are generally described as follows:

Section 551.071: Consultation with Attorney

The City Council may conduct a private consultation with its attorney when the City Council seeks the advice of its attorney concerning any item on this agenda, about pending and contemplated litigation, or a settlement offer, or on a matter in which the duty of the attorney to the City Council under the Texas Disciplinary Rules of Professional Conduct of the State Board of Texas clearly conflicts with Chapter 551.

Section 551.072: Deliberation regarding real property

The City Council may conduct a closed meeting to deliberate the purchase, exchange, lease or value of real property.

Section 551.073: Deliberation regarding Prospective Gift or Donation

The City Council may conduct a closed meeting to deliberate a negotiated contract for a prospective gift or donation to the City.

Section 551.074: Deliberation regarding Personnel Matters

The City Council may deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of public officers, including the City Manager, City Secretary, City Attorney, Municipal Judge, and non-advisory city boards and commission members. A complete list of the city boards and commissions and the membership of those boards and commissions is on file in the City Secretary's Office.

Section 551.076: Deliberation regarding Security Devices

The City Council may deliberate the deployment, or specific occasions for implementation of security personnel or devices.

Section 551.087: Deliberation regarding Economic Development Negotiations

The City Council may discuss or deliberate regarding commercial or financial information received from a business prospect that the city seeks to have locate, stay or expand in or near the city and which the City is conducting economic development negotiations or to deliberate the offer of a financial or other incentive to a business prospect; particularly, discussion with economic development specialist regarding potential economic incentive agreement for development of real property.

Section 418.183(f): Texas Disaster Act

The City Council may deliberate information: (1) for purposes of preventing, investigating, or responding to an act of terrorism or related criminal activity and involving emergency response providers, their staffing, contact information and tactical plans; (2) that relates to the risk or vulnerability of persons or property, including infrastructure, to an act of terrorism; (3) that relates to the assembly of an explosive weapon, the location of a material that may be used in a chemical, biological or radioactive weapon, or unpublished information pertaining to vaccines or devices to detect biological agents or toxins; (4) that relates to details of the encryption codes or security keys for a public communication system; (5) that relates to a terrorism-related report to an agency of the United States; (6) that relates to technical details of particular vulnerabilities of critical infrastructure to an act of terrorism; (7) that relates to information regarding security measures or security systems intended to protect public and private property from an act of terrorism; or (8)

any other topic subject to discussion in closed session pursuant to the Texas Disaster Act.

Section 418.106(d) & (e): Local Meetings to Discuss Emergency Management Plans regarding Pipeline Safety

The City Council may discuss emergency management plans providing for disaster mitigation, preparedness, response and recovery in executive session when those plans contain sensitive information relating to critical infrastructure or facilities, and the safety or security of the infrastructures or facilities could be jeopardized by disclosure of the emergency management plan.

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Candice Edmondson, City Manager

Date: June 14, 2021

Subject: Boarding House Ordinance Amendments

Agenda Item:

Discuss possible amendments to Ordinance 1434-21 regulating Boarding Houses

Background Information:

On May 10, 2021, City Council approved Ordinance 1434-21 regulating Boarding Houses within Richland Hills. During the discussion, Council requested staff and the City Attorney consider additional requirements and regulations that could be added to the ordinance. Below is a list of possible amendments for Council discussion. Some of these amendments were requested by City Council during the meeting but required City Attorney review. We will discuss each of these amendments in detail during the work session.

- (1) Reincorporate the unrelated person limitation or allow no more than one person per sleeping unit
- (2) Require a site plan for parking
- (3) Limiting boarding houses to only multi-family areas
- (4) Requiring proof of insurance for property owners and tenants
- (5) Regulating group homes

Financial Considerations:

N/A

Legal Review:

City Attorney has reviewed proposed amendments

Board/Citizen Input:

N/A

Attachments:

N/A

Council Action Requested:

Discussion Item Only

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Candice Edmondson, City Manager

Date: June 14, 2021

Subject: TCAP 20th Anniversary Recognition

Agenda Item:

Texas Coalition for Affordable Power 20th Anniversary Recognition

Background Information:

The Texas Coalition for Affordable Power (TCAP) is celebrating its 20th Anniversary. As part of the celebration, TCAP is honoring its founding members with a special recognition plaque. Margaret Somereve, TCAP's Executive Director, will be in attendance to thank the Richland Hills City Council and present the city with its plaque.

Financial Considerations:

N/A

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

N/A

Council Action Requested:

No Council Action

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Russell Shelley, Fire Chief

Date: June 14, 2021

Subject: Fire Department Badge Pinning Ceremony – Mykl Robinson

Agenda Item:

Presentation of Fire Department Badge to Mykl Robinson

Background Information:

Mykl Robinson came to us from private EMS and this is his first fire department job. Mykl is originally from Ohio and is a proud graduate and former football player at Ohio State University. Mykl is married and he enjoys working as a personal trainer in his time away from the fire department.

Financial Considerations:

N/A

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

N/A

Council Action Requested:

No Council Action

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Kimberly Sylvester, Chief of Police

Date: June 14, 2021

Subject: Life Saving Awards

Agenda Item:

Life Saving Awards Presentation

Background Information:

Presentation of Life Saving Awards to Officer Willie Tunson and Officer Daniel Winchester.

Financial Considerations:

N/A

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

Life Saving Awards

Council Action Requested:

No Council Action

June 14, 2021

Richland Hills Police Department



Life Saving Award *presented to* *Officer Daniel Winchester*

in recognition of your life saving efforts.

On October 15, 2020, Officers Daniel Winchester and Willie Tunson were dispatched to assist the Richland Hills Fire Department in the 2700 block of Mimosa Park Drive for a possible opioid overdose. Officer Winchester, who is a certified Emergency Medical Technician, announced on the radio for the first responding unit to administer Narcan to the individual due to the information provided by Dispatch. Officer Tunson, arriving first, observed a female laying in the hallway of her residence unresponsive, without a pulse, and her lips blue. Officer Tunson administered Narcan to the female and began CPR efforts. Officer Winchester arrived and assisted Officer Tunson with life-saving efforts. Officer Winchester located a pulse on the female and placed her in the recovery position until Richland Hills Fire Department personnel arrived and took over the scene. It is clear that the quick actions and intervention by Officers Winchester and Tunson provided immediate measures which saved a human life.

On behalf of the Men and Women of the Richland Hills Police Department, we thank you for your dedication and express our sincere appreciation for your efforts in this life saving incident.

Presented this 11th day of May, 2021

Kimberly L. Sylvester
Chief of Police

June 14, 2021

Richland Hills Police Department



Life Saving Award presented to Officer Willie Tunson

in recognition of your life saving efforts.

On October 15, 2020, Officers Daniel Winchester and Willie Tunson were dispatched to assist the Richland Hills Fire Department in the 2700 block of Mimosa Park Drive for a possible opioid overdose. Officer Winchester, who is a certified Emergency Medical Technician, announced on the radio for the first responding unit to administer Narcan to the individual due to the information provided by Dispatch. Officer Tunson, arriving first, observed a female laying in the hallway of her residence unresponsive, without a pulse, and her lips blue. Officer Tunson administered Narcan to the female and began CPR efforts. Officer Winchester arrived and assisted Officer Tunson with life-saving efforts. Officer Winchester located a pulse on the female and placed her in the recovery position until Richland Hills Fire Department personnel arrived and took over the scene. It is clear that the quick actions and intervention by Officers Winchester and Tunson provided immediate measures which saved a human life.

On behalf of the Men and Women of the Richland Hills Police Department, we thank you for your dedication and express our sincere appreciation for your efforts in this life saving incident.

Presented this 11th day of May, 2021

*Kimberly L. Sylvester
Chief of Police*

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Cathy Bourg, City Secretary

Date: June 14, 2021

Subject: Minutes from the May 24, 2021 Regular City Council Meeting

Agenda Item:

Approval of minutes from the May 10, 2021 City Council Regular Meeting

Background Information:

N/A

Financial Considerations:

N/A

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

May 24, 2021 Draft Minutes

Council Action Requested:

Motion to approve the minutes from the May 24, 2021 Regular City Council Meeting

**RICHLAND HILLS CITY COUNCIL
REGULAR MEETING
MAY 24, 2021
DRAFT MINUTES**

Roll Call:

Council present

Edward Lopez, Mayor
Douglas Knowlton, Place 1
Stacey L. Morse, Place 2
Curtis A Bergthold, Mayor Pro Tem
Javier Alvarez, Place 4
Athena Campbell, Place 5 (Work Session)
G.W. Estep, Place 5 (Regular Session)

Staff present

Candice Edmondson, City Manager
Cathy Bourg, City Secretary
James Donovan, City Attorney

The Work Session and Regular Session is open to the public and citizens are welcome to attend. However, due to the current Coronavirus (COVID-19) outbreak in our area and in an effort to abide by social distancing recommendations, we encourage citizens wishing to participate in the meeting to email your comment to City Secretary Cathy Bourg at cbourg@richlandhills.com by 5:00 p.m. on Monday, May 24th. Your comment will be read aloud during Item 1BC *Citizen Appearances/Public Comments*. If you would like to join and participate in the meeting by video conference or phone, you may do so via the following options:

- **Online via Zoom:** Go to zoom.us, Join a Meeting, and enter Meeting ID 818 0779 4217 and the host will allow you to enter the virtual meeting. The host will ask you what item you would like to speak on, and you will be called upon when that item is presented to address the City Council.
- **By Phone:** Please call (346) 248-7799 and enter Meeting ID 818 0779 4217 and provide your name and address. The host will ask you what item you would like to speak on, and you will be called upon when that item is presented to address the City Council.

CITY COUNCIL WORK SESSION – 6:30 PM

1. **Executive Session: Pursuant to the Open Meetings Act, Chapter 551, Texas Government Code, Sec. 551.071, Sec. 551.072, Sec. 551.073, Sec. 551.074, Sec. 551.076, Sec. 551.087 and Sec. 418.0183 (f) and 418.106 (d) & (e) of the**

Texas Government Code (Texas Disaster Act). Refer to posted list attached hereto and incorporated herein.

Motion: Motion was made by Councilmember Campbell and seconded by Councilmember Knowlton to convene into executive session. Time: 6:32 p.m.

Motion carried by a vote of 5-0.

Mayor Lopez reconvened into open session and called for a break. Time: 6:59 p.m.

2. Discuss items and presentations listed on tonight's City Council Agenda.

None

REGULAR SESSION – Mayor Lopez Called to Order – Time 7:00 p.m.

Invocation – G.W. Estep

1A. ELECTION RELATED ITEMS

A. Administer Oaths of Office to City Council Place 1, City Council Place 3 and City Council Place 5

Cathy Bourg, City Secretary administered the Oaths of Office to Doug Knowlton, City Council Place 1, Curtis Bergthold, City Council Place 3 and G.W. Estep, City Council Place 5.

B. Election of Mayor Pro Tem

Motion: Motion was made by Councilmember Knowlton and seconded by Councilmember Morse to elect Councilmember Curtis Bergthold as Mayor Pro Tem.

Motion carried by a vote of 5-0.

1B. PRESENTATIONS

A. Employee Service Award

Candace Edmonson, City Manager acknowledged Lee Turnage, Building Technician with the Parks and Recreation Department for 10-years of service.

B. Fire Department Badge Pinning Ceremony

Karen Evans, Human Resources Specialist administered the Oaths of Office to Fire Fighters Mickey Hanes and Cory Graham.

C. Citizen Appearances/Public Comments

Citizen comments emailed to Cathy Bourg (cbourg@richlandhills.com) on an item either listed on this agenda or not listed on this agenda will be heard at this time. Citizens in attendance at the meeting who have signed a card to speak to the City Council will also be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the presentation is on the agenda, the city staff and City Council members are prevented from discussion of the subject and may respond only with statements of factual information or existing city policy. Public comment will not be taken on items that the Council has previously considered in a public hearing.

Mayor Lopez acknowledged the following emailed comments provided to City Council:

- Kelly Jo Smith regarding the Day Care and traffic lights on Baker Blvd.
- Phyllis Guidry in favor of a no vote on animal code updates.
- Sunny Railey, 3613 Jonette Dr. is against anything that negatively affects property owners rights in Richland Hills.

LaRue Wall, 7000 Park Place Dr., spoke regarding naming the new Hike and Bike Trail after David Ragan in honor of his many accomplishments and contributions of time he has given to Richland Hills.

Stacey Reddy, 7012 Hardisty St. spoke regarding a petition with 180 signatures requesting City Council work with TxDOT to fix the lights on Baker Blvd.

CONSENT AGENDA

- 2A. Approve minutes from the May 14, 2021 City Council Regular Meeting and the May 11, 2021 City Council Special Meeting**
- 2B. Approve an Interlocal Agreement with Tarrant County for administration of the North East Tarrant County Vaccination Site**
- 2C. Approve Resolution 539-21 denying Oncor Electric Delivery Company LLC's Application for Approval to Amend its Distribution Cost Recovery Factor to increase distribution rates**
- 2D. Approve Resolution 540-21 authorizing the City Manager to execute an agreement with the Texas Department of Transportation for the temporary closure of a segment of State Highway 183 (Baker Blvd.) for the Red, White and You Parade**

Motion: Motion was made by Councilmember Estep and seconded by Councilmember Morse to approve the consent agenda.

Motion carried by a vote of 5-0.

PUBLIC HEARINGS, MEETINGS, AND OTHER RELATED ITEMS

3A. None

ORDINANCES & RESOLUTIONS AND OTHER RELATED ITEMS

4A. None

CONTRACTS, AGREEMENTS, BID AWARDS AND OTHER RELATED ITEMS

5A. None

OTHER ITEMS FOR CONSIDERATION

6A. Consider appointments to Boards and Commissions

The City Council would like to make a broader appeal to seek additional applications to fill vacancies.

6B. Consider appointments to City Council Committees

Motion: Motion was made by Councilmember Morse and seconded by Councilmember Alvarez to appoint Councilmember Morse and Councilmember Alvarez to the City Council Development Committee.

Motion carried by a vote of 5-0.

Motion: Motion was made by Councilmember Bergthold and seconded by Councilmember Estep to appoint Councilmember Knowlton and Councilmember Bergthold to the City Council Infrastructure Committee.

Motion carried by a vote of 5-0.

Motion: Motion was made by Councilmember Morse and seconded by Councilmember Alvarez to appoint Councilmember Estep and Councilmember Bergthold to the City Council Finance Committee.

Motion carried by a vote of 5-0.

6C. Consider appointments to Branding Committee

Candice Edmondson, City Manager presented background information regarding appointments to the Branding Committee.

As part of the FY 2021 Budget, City Council approved funding for a citywide branding initiative. The purpose of the branding initiative is to create a comprehensive brand strategy that will help Richland Hills tell its story. The brand should capitalize on what

makes Richland Hills unique and will be the catalyst for the city's future marketing and economic development efforts.

In February the city released a Request for Proposal for city branding services. Eight agencies responded to the request with two being selected as finalists. Following an interview process, the selection committee chose CivicBrand to provide the branding services.

As we prepare to start the branding project, a committee of Richland Hills residents should be appointed to work with city staff and CivicBrand through the process. Ideally the Branding Committee would be made up of 5-6 individuals who are truly vested in the community, understand the history of Richland Hills and have a positive vision that will carry our community into the future.

Motion: Motion was made by Councilmember Bergthold and seconded by Councilmember Morse to appoint the following individuals to the Branding Committee:

- Joyce Zuefeldt Fiaccone
- Kelle Jones
- Theresa Bledsoe
- Stacy Reddy
- Ashly Schilling
- John Skier
- Toby Wright

Motion carried by a vote of 5-0.

City Manager Edmondson introduced the new Richland Hills Director of Finance and Administration Services, Patricia Albrecht.

REPORTS & DISCUSSIONS

7A. Fire Station Project Update

Russel Shelley, Fire Chief presented a construction update on the Fire Station Project.

Recent Progress

- | | |
|---------------------------------|-----------------------------|
| • Roof is complete | • Drywall 99% complete |
| • All framing is complete | • Tape and bed 99% complete |
| • Apparatus room doors are in | • All wire is pulled |
| • All windows are in and sealed | • Brick is complete |
| • Bathroom tile at 50% | • Ceiling grid complete |

This Week

- Staining and finishing concrete floors
- Installing ceiling grid tiles

- All lights operational
- Completion of bathroom tile
- Painting in apparatus bays
- Completion of front canopy

Next Steps (May/June)

- Cabinets/Countertops/Lockers/Bed Frames
- Fire alarm completion
- Final paint
- Carpet
- Bathroom fixtures
- A/V Install & Radio System

Project Budget

- The pay application for March totaled: \$540,005
- The pay application for April totaled: \$445,173
- To date, we have paid out: \$3,260,427
- This is 59.9% of the Guaranteed Maximum Price of \$5,445,843

7B. Police Station Project Update

Kim Sylvester, Police Chief provided a construction update on the Police Station Project.

Current Progress

- Move in day was Monday, May 17, 2021
- Most all punch list items have been completed
- Walk off mat to be installed this week
- Landscaping will be completed in the next couple of weeks
- Exterior wash and sealing to be completed in the next 2 couple of weeks

Project Funds Paid

- \$35,982.43 on 11-16-2020
- \$36,835.82 on 12-14-2020
- \$145,334.65 on 01-25-2021
- \$95,152.46 on 02-08-2021
- \$102,766.97 on 03-22-2021
- \$90,946.07 on 04-15-2021
- \$146,057.40 on 05-20-2021

Chief Sylvester presented Police Department highlights and accomplishment since 2018.

Accomplishment Highlights 2018-2021

- Rebranding began with new graphic designs for the patrol fleet and new badge designs which also created our philosophy statement of:
- “Serving and Protecting by Cultivating our Partnerships with the Community” these four words are within the branding of our new badge.
- Began the Police Week annual community event and remembrance ceremony

- Expanded National Night Out event by including a block party at The Link for residents who did not have an event in their neighborhood
- Employee Annual Awards Banquet was enhanced and formalized
- Participated in the 1st day of school with BISD in greeting the students and staff
- Staffing study completed and new organizational structure was created for span of control and accountability
- Texas Police Chief's Association Best Practices Program was initiated and completed by the end of 2019. This accreditation process brought about several operational and procedural changes within the Department to align us with the standards set forth within the program. The Department met or exceeded all of the standards required. This program requires constant monitoring and oversight of compliance standards by staff.
- Established the Professional Standards Unit that oversees the accreditation program and provides for an independent body to investigate employee complaints and conducts inspections on employee performance and procedural compliance.
- Implemented Self Aid Buddy Aid (SABA) training that provided sworn officers the training and equipment for life-saving measures. To date, several officers have received life saving awards and recognition.
- Implemented the Opioid Overdose Prevention program by deploying NARCAN to all officers for utilization in the field. To date, several deployments of NARCAN have been successfully used on citizens as life-saving measures.
- Applied for and was awarded hard-armor protective gear and was awarded rifle-rated armor and helmets from Shield 616 for all sworn members.
- Expanded the Police Chaplaincy Program by adding 2 additional chaplains and creating more involvement within the Department and Community.
- Bike Patrol program was implemented, new equipment and training for selected members.
- Multiple community events organized (Coffee with Cops, World Read Aloud with BISD, Refresh event with BISD, and began involvement with Special Olympics)
- VIN etching event for the community to address motor vehicle thefts
- New traffic trailer and stealth radar device acquired and procedures established for deployment in the community to address traffic-related complaints.
- Crime Scene Unit was established to enhance investigative abilities and increase opportunity to solve cases. Thereafter, a Crime Scene Van was donated by Haltom City and outfitted as a field response unit.
- Applied for and acquired Grant Funding for the Selective Traffic Enforcement Program. Adds funding to allow sworn officers to work specific high traffic problem areas in the community.
- Joined multi-agency consortium for NAPD (National Academy of Professional Driving) training for sworn members. Previously, the Department did not have a driving track available to them to complete this training and had been several years since officers had received this type of training.
- Several technology upgrades and equipment acquired to enhance employee performance, productivity and accountability. Examples are:

- Axon Body and Fleet Cameras, Ticket Writers, In-car computers and radios, Duty weapons and rifles were acquired through a trade-in program, stop stick deployment and improved duty uniforms.
- Established training requirements outside of mandated training for staff members to improve employee service to the community.

The Future of Richland Hills Police Department

- Increase in Community Programming such as: Revamped Citizens Police Academy and Neighborhood Crime Watch, Crime Free Multi-Housing, Unidos program for Hispanic community members involvement and Citizen volunteer opportunities within the Department.
- Implementation of a Junior Police Academy summer program to engage our youth and create recruiting opportunities for those that may have an interest in law enforcement as a career. This program would feed into our Explorer Program once they become of age for participation.
- Increase communication to the community utilizing our various platforms.
- Assignment of a Community Relations Officer to oversee all community programming and inclusiveness with the community.
- Implement crime analysis with existing staff and data analysis software to target crime trends, patterns and problem areas for field units.

7C. Street Improvement Projects Update

Presented following 6C.

Scott Mitchell, Director of Neighborhood Services presented an update on the street improvement projects. The bid award for the FY 2021 Street Improvements Project will be on the June 14th council agenda.

7D. Hike and Bike Trail Project Update

Jason Brown, Director of Parks and Recreation presented and update on the Hike and Bike Trail Project.

Funds Progress

- Total Construction budget was \$1,198,516
 - 80% funded with state and federal grants
 - City of Richland Hills' obligation = \$239,703
- Funds spent from the 4B fund to date:
 - \$470,087 39.2% Complete

Current Construction Progress

- Concrete Poured
- Laying Sod all the way South to 121
- Ponding issue on Latham North being mitigated
- Working to remove unneeded signs on Elm

- Completion of project by middle of July

7E. Red, White and You Celebration

Jason Brown, Director of Parks and Recreation presented and update on the Red, White and You Celebration. The event will take place on Saturday, July 3rd from 9:00 a.m. to Noon. The majority of the Patriotic Parade will be on Baker Blvd. and returning back to The Link Plaza. There will be live music at the pavilion, Cops and Bobbers, games, rides and more. The Fireworks Show hosted by the North East Chamber will be on July 4th at 9:25 p.m.

7F. April Department Reports

Candice Edmondson, City Manager highlighted the following April Department Reports:

- Fire Department – In partnership with the Red Cross, smoke alarms continue to be available to those who need them. There is no cost and Fire Department personnel will install them. Also, medication disposal pouches are available at the fire station. The following were winners at the FD Annual Awards Event: Jordan Bridges, Firefighter of The Year; Scott Newbury, EMS Provider of The Year and Michael Ferguson, Fire Chief's Award.
- Police Department – Responded to 300 more calls in April 2021 compared to last year. There was a Crime Watch meeting held at The Link for a neighborhood.
- Animal Services – Vax Shack held on April 22nd provided 45 spays and neuters and 72 pet immunizations during shot clinic. The next Vax Shack is scheduled for May 27th, by appointment only.
- Code Enforcement – There was 122 notices that were issued, and staff worked with residents and gained compliance on 78% of the issued notices.
- Community Development – Build in process at 2450 Austin and 2420 Midway.
- Parks and Recreation – The Link is starting to see more participation in rentals, memberships, events, and programming.

8. COMMUNITY INTEREST ITEMS

- Link Membership Sale Extended – Now through June 1, 2021
- Pops n' Pickles - June 5, 3 PM – 9 PM, The Link
- Senior Lunch Bunch – Indoor Seating & To Go Orders on Thursday, June 10; 12 noon – 1 PM; The Link
- Tarrant County Food Pantry - Thursday, June 10; 5:30 PM – 7PM; The Link Parking Lot
- Summer Reading Program - Registration for Summer Reading has started and our first event. Designed for all ages, the kickoff event will be a drive thru on June 3rd from 5-7 pm behind City Hall. We will have info on summer activities, a take home craft and treats for pets and people. Please call or come into the library to register.

9. **Executive Session: Pursuant to the Open Meetings Act, Chapter 551, Texas Government Code, Sec. 551.071, Sec. 551.072, Sec. 551.073, Sec. 551.074, Sec. 551.076, Sec. 551.087 and Sec. 418.0183 (f) and 418.106 (d) & (e) of the Texas Government Code (Texas Disaster Act).**

None

10. **A motion was made by Councilmember Morse and seconded by Councilmember Bergthold to adjourn.**

Motion carried by a vote of 5-0.

There being no further business to come before the City Council, Mayor Lopez declared the meeting adjourned at 8:36 p.m.

ATTEST

APPROVED

Cathy Bourg, City Secretary

Edward Lopez, Mayor

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Patricia Albrecht, Director of Finance and Administrative Services

Date: June 14, 2021

Subject: Update of Authorized Representatives at the Federal Reserve Bank

Agenda Item:

Approve update of authorized representatives at the Federal Reserve Bank of Boston for the collateral securities held at the Federal Reserve that back the City's deposits at JP Morgan Chase Bank, N.A.

Background Information:

The purpose of this item is to add Patricia Albrecht, Director of Finance and Administrative Services, and delete Terry Leake, as an authorized representative for approving and releasing collateral at the Federal Reserve Bank of Boston. The attached agreement form also retains current authorized representatives Candice Edmondson, City Manager, Cathy Bourg, City Secretary and Bernadette Gendron, Accountant.

For City deposits at JP Morgan Chase Bank, N.A. that are greater than the FDIC limit of \$250,000, there are collateral securities held to back the City's deposits by the Federal Reserve at the Boston location. Collateralization of deposits is required by State and is included in the City's investment policy for the safety of the City's deposits.

Financial Considerations:

The proposed update will provide the City with the authorization to ensure that funds held at JP Morgan Chase Bank N.A. are promptly and properly collateralized.

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

Pledgee Agreement Form – Federal Reserve Bank of Boston

Council Action Requested:

Motion to approve update of authorized representatives at the Federal Reserve Bank of Boston for the collateral securities held at the Federal Reserve that back the City's deposits at JP Morgan Chase Bank, N.A.

Pledgee Agreement Form

To: Federal Reserve Bank of Boston

600 Atlantic Avenue

Boston, MA 02210

Attn: Wholesale Operations/Joint Custody

Tel: 800-327-0147, Option #4

Fax: 877-973-8972

Date: _____

We, the _____ agree to the terms of **Appendix C** of your **Operating Circular 7**, dated August 19, 2005, as it may be amended from time to time with respect to the account on your books designated _____. (4 digit alpha-numeric account number)

We further agree that you may accept par for par substitutions: securities from the Pledgor as a replacement of, or in substitution for, those securities presently held (please check one):

☐

NO (Instructions required for
each withdrawal)

☐

YES (Standing approval)

Provided that the replacement or substitution does not reduce the aggregate par amount of securities held in custody for us.
(See **Operating Circular 7, Appendix C, Section 4.3.**)

We authorize you to use the following call-back procedure for securities transactions pertaining to this account (please check one):

☐

Three-party call-back

☐

Four-party call-back

We certify that the individuals listed below may take authoritative action on our behalf with respect to the account, including a direction to release collateral from the account. You may rely on the authority of these individuals with respect to the account until we otherwise notify you.

Telephone: _____

Print Name: _____ Title: _____

Fax: _____

Signature: _____ Date: _____

Telephone: _____

Print Name: _____ Title: _____

Fax: _____

Signature: _____ Date: _____

Telephone: _____

Print Name: _____ Title: _____

Fax: _____

Signature: _____ Date: _____

Pledgee Agreement
(page 2 of 2)

June 14, 2021
2B - 4

Telephone: _____

Print Name: _____ Title: _____

Fax: _____

Signature: _____ Date: _____

The Undersigned hereby certifies that he/she is the present lawful incumbent of the designated public office.

Pledgee

Name of governmental unit

Street Address or P.O Box Number

City, State, Zip Code

Official Signature/ **Date**

Printed Name and Title

Notary

State of _____

County of _____

On this ____ day of _____, 20__ before me personally appeared _____, to me personally known or satisfactorily proven, who by me duly sworn, did depose and say that he/she resides at _____, in the City of _____, in the State of _____, that he/she is the _____ [Title] of _____ and that he/she executed this document on behalf of _____ before me.

(Signature of Notary)

(Print name of Notary)

My commission expires on _____ [Date]

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Patricia Albrecht, Director of Finance and Administrative Services

Date: June 14, 2021

Subject: Update of Authorized Representatives for TexPool

Agenda Item:

Approve Resolution 517-19A authorizing the change of authorized representatives for the Texas Local Government Investment Pool (TexPool)

Background Information:

The purpose of this item is to add Patricia Albrecht, Director of Finance and Administrative Services, as an authorized representative to invest funds for the City of Richland Hills with TexPool. The attached resolution also retains current authorized representatives Candice Edmondson, City Manager, Bernadette Gendron, Accountant and Cathy Bourg, City Secretary. The City utilizes TexPool for investment of funds and TexPool requires formal action by City Council to make changes to authorized representatives.

Financial Considerations:

The proposed update will provide the City with the authorization to ensure unimpeded access to funds while allowing for the investment of these local funds.

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

TexPool Resolution 517-19A

Council Action Requested:

Motion to approve Resolution 517-19A authorizing the change of authorized representatives for the Texas Local Government Investment Pool (TexPool)



Resolution Amending Authorized Representatives

Please complete this form to amend or designate Authorized Representatives. *This document supersedes all prior Authorized Representative forms.*

* Required Fields

1. Resolution

WHEREAS,

Participant Name*

Location Number*

("Participant") is a local government of the State of Texas and is empowered to delegate to a public funds investment pool the authority to invest funds and to act as custodian of investments purchased with local investment funds; and

WHEREAS, it is in the best interest of the Participant to invest local funds in investments that provide for the preservation and safety of principal, liquidity, and yield consistent with the Public Funds Investment Act; and

WHEREAS, the Texas Local Government Investment Pool ("TexPool / Texpool Prime"), a public funds investment pool, were created on behalf of entities whose investment objective in order of priority are preservation and safety of principal, liquidity, and yield consistent with the Public Funds Investment Act.

NOW THEREFORE, be it resolved as follows:

- A. That the individuals, whose signatures appear in this Resolution, are Authorized Representatives of the Participant and are each hereby authorized to transmit funds for investment in TexPool / TexPool Prime and are each further authorized to withdraw funds from time to time, to issue letters of instruction, and to take all other actions deemed necessary or appropriate for the investment of local funds.
- B. That an Authorized Representative of the Participant may be deleted by a written instrument signed by two remaining Authorized Representatives provided that the deleted Authorized Representative (1) is assigned job duties that no longer require access to the Participant's TexPool / TexPool Prime account or (2) is no longer employed by the Participant; and
- C. That the Participant may by Amending Resolution signed by the Participant add an Authorized Representative provided the additional Authorized Representative is an officer, employee, or agent of the Participant;

List the Authorized Representative(s) of the Participant. Any new individuals will be issued personal identification numbers to transact business with TexPool Participant Services.

1.
Name Title

Phone Fax Email

Signature

2.
Name Title

Phone Fax Email

Signature

3.
Name Title

Phone Fax Email

Signature

1. Resolution (continued)

4.

Name	Title
Phone	Fax
Email	
Signature	

List the name of the Authorized Representative listed above that will have primary responsibility for performing transactions and receiving confirmations and monthly statements under the Participation Agreement.

Name

In addition and at the option of the Participant, one additional Authorized Representative can be designated to perform only inquiry of selected information. *This limited representative cannot perform transactions.* If the Participant desires to designate a representative with inquiry rights only, complete the following information.

Name										Title																			
Phone										Fax										Email									

D. That this Resolution and its authorization shall continue in full force and effect until amended or revoked by the Participant, and until TexPool Participant Services receives a copy of any such amendment or revocation. This Resolution is hereby introduced and adopted by the Participant at its regular/special meeting held on the day of , **20** .

Note: Document is to be signed by your Board President, Mayor or County Judge and attested by your Board Secretary, City Secretary or County Clerk.

Name of Participant*

SIGNED

Signature*

Printed Name*

Title*

ATTEST

Signature*

Printed Name*

Title*

2. Mailing Instructions

The completed Resolution Amending Authorized Representatives can be faxed to TexPool Participant Services at 1-866-839-3291, and mailed to:

TexPool Participant Services
1001 Texas Avenue, Suite 1150
Houston, TX 77002

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Patricia Albrecht, Director of Finance and Administrative Services

Date: June 14, 2021

Subject: Update of Authorized Representatives for TexSTAR

Agenda Item:

Approve Resolution 541-21 authorizing the change of authorized representatives for the Texas Short Term Asset Reserve Program (TexSTAR)

Background Information:

The purpose of this item is to add Patricia Albrecht, Director of Finance and Administrative Services and Candice Edmondson, City Manager, as authorized representatives to invest funds for the City of Richland Hills with TexSTAR. The attached resolution also retains current authorized representatives, Bernadette Gendron, Accountant and Cathy Bourg, City Secretary. The City utilizes TexSTAR for investment of funds and TexSTAR requires formal action by City Council to make changes to authorized representatives.

Financial Considerations:

The proposed update will provide the City with the authorization to ensure unimpeded access to funds while allowing for the investment of these local funds.

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

TexSTAR Resolution 541-21

Council Action Requested:

Motion to approve Resolution 541-21 authorizing the change of authorized representatives for the Texas Short Term Asset Reserve Program (TexSTAR)



AMENDING RESOLUTION

WHEREAS, _____

(the "Government Entity") by authority of the Application for Participation in TexSTAR (the "Application") has entered into an Interlocal Agreement (the "Agreement") and has become a participant in the public funds investment pool created there under known as TexSTAR Short Term Asset Reserve Fund ("TexSTAR");

WHEREAS, the Application designated on one or more "Authorized Representatives" within the meaning of the Agreement;

WHEREAS, the Government Entity now wishes to update and designate the following persons as the "Authorized Representatives" within the meaning of the Agreement;

NOW, THEREFORE, BE IT RESOLVED:

SECTION 1. The following officers, officials or employees of the Government Entity specified in this document are hereby designated as "Authorized Representatives" within the meaning of the Agreement, with full power and authority to open accounts, to deposit and withdraw funds, to agree to the terms for use of the website for online transactions, to designate other authorized representatives, and to take all other action required or permitted by Government Entity under the Agreement created by the application, all in the name and on behalf of the Government Entity.

SECTION 2. This document supersedes and replaces the Government Entity's previous designation of officers, officials or employees of the Government Entity as Authorized Representatives under the Agreement

SECTION 3. This resolution will continue in full force and effect until amended or revoked by Government Entity and written notice of the amendment or revocation is delivered to the TexSTAR Board.

SECTION 4. Terms used in this resolution have the meanings given to them by the Application.

Authorized Representatives. Each of the following Participant officials is designated as Participant's Authorized Representative authorized to give notices and instructions to the Board in accordance with the Agreement, the Bylaws, the Investment Policy, and the Operating Procedures:

1. Name: _____ Title: _____

Signature: _____ Phone: _____

Email: _____

2. Name: _____ Title: _____

Signature: _____ Phone: _____

Email: _____

3. Name: _____ Title: _____

Signature: _____ Phone: _____

Email: _____

4. Name: _____ Title: _____

Signature: _____ Phone: _____

Email: _____

{REQUIRED} PRIMARY CONTACT: List the name of the Authorized Representative **listed above** that will be designated as the Primary Contact and will receive all TexSTAR correspondence including transaction confirmations and monthly statements

Name: _____

{OPTIONAL} INQUIRY ONLY CONTACT: In addition, the following additional Participant representative (**not listed above**) is designated as an ***Inquiry Only*** Representative authorized to obtain account information:

Name: _____ Title: _____

Signature: _____ Phone: _____

Email: _____

Participant may designate other authorized representatives by written instrument signed by an existing Participant Authorized Representative or Participant's chief executive officer.

DATED _____

(NAME OF PARTICIPANT)

SIGNED BY: _____
(Signature of official)

(Printed name and title)

ATTESTED BY: _____
(Signature of official)

(Printed name and title)

FOR INTERNAL USE ONLY

APPROVED AND ACCEPTED: TEXAS SHORT TERM ASSET RESERVE FUND

.....
AUTHORIZED SIGNER

REQUIRED
PLACE OFFICIAL SEAL OF ENTITY HERE

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Scott Mitchell, Director of Neighborhood Services

Date: June 14, 2021

Subject: Easement Agreement with Oncor Electric Delivery

Agenda Item:

Approve Easement and Right of Way Agreement with Oncor Electric Delivery for 8,826 square feet or 0.2026 acres for a street crossing at Lavon Drive and Rosebud Lane and a 24" storm drain line

Background Information:

As part of the proposed street reconstruction and underground utility replacement project for Rosebud Lane, it was determined that the existing street and underground utilities did not have a formal easement agreement where the infrastructure crossed the utility corridor owned by Oncor Electric Delivery at Lavon Drive. This item will formalize an easement for the street and utility improvements to legally proceed across the property owned by Oncor.

The attached agreement accomplishes the following:

1. Allows the city access for the improvement of existing street and underground utility infrastructure placed across the Oncor property
2. Clarifies that the city is responsible for all construction cost and maintenance of street and underground city infrastructure at no expense to Oncor
3. Clarifies requirements and prohibitions associated with any work in close proximity to the 138,000 volt and 345,000-volt lines that are on the property

Financial Considerations:

Payment of \$10.00 to Oncor for the conveyance of the easement

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

Easement and Right of Way Agreement

Council Action Requested:

Motion to approve Easement and Right of Way Agreement with Oncor Electric Delivery for 8,826 square feet or 0.2026 acres for a street crossing at Lavon Drive and Rosebud Lane and a 24" storm drain line

Latham Jct. – Latham Sw. 138 KV Line
D-88
2021-2789CW

EASEMENT AND RIGHT OF WAY

STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS
COUNTY OF TARRANT §

That **ONCOR ELECTRIC DELIVERY COMPANY LLC**, a Delaware limited liability company, hereinafter referred to as Grantor, for and in consideration of TEN AND NO/100 DOLLARS (\$10.00), and other good and valuable consideration to it in hand paid by the **City of Richland Hills** a Texas Municipal Corporation, hereinafter referred to as Grantee, has granted, sold and conveyed and by these presents does hereby grant, sell and convey unto said Grantee a nonexclusive easement and right of way containing 8,826 square feet or 0.2026 acres for a street crossing (Lavon Dr./Rosebud Lane) and a 24" storm drain line within, hereinafter referred to as Grantee's Facility, in, over, under, across and along the property described and shown on the attached **Exhibit "A"**:

SEE ATTACHED EXHIBITS

There is also granted to Grantee, its successors or assigns, a nonexclusive easement to use only so much of Grantor's adjoining land, during temporary periods, as may be necessary for the construction, maintenance, and repair of said Grantee's Facility. Such use shall not interfere with Grantor's use of such property in the operation of its business and Grantee shall properly maintain such property during construction and at the conclusion of such construction remove all construction debris and other materials from such property and restore such property to the same condition it was in prior to the commencement of Grantee's construction thereon or in proximity thereto. Additional general construction limitations on easement are described and listed, but not limited to, in **Exhibit "B"**, attached hereto and by reference made a part hereof. Use of draglines or other boom-type equipment in connection with any work to be performed on Grantor's property by the Grantee, its employees, agents, representatives or contractors must comply with Chapter 752, Texas Health and Safety Code, the National Electrical Safety Code and any other clearance requirements. Notwithstanding anything to the contrary herein, in no event shall any equipment be within fifteen (15) feet of the Oncor 138,000 volt or less power lines or within twenty (20) feet of the Oncor 345,000 volt power lines situated on the aforesaid property. Grantee must notify Fort Worth Transmission, (817-496-2746) at least 48 hours prior to the use of any boom-type equipment on Grantor's property except in an emergency. Grantor reserves the right to refuse Grantee permission to use boom-type equipment.

Grantee shall locate its Facility within the easement so as not to interfere with any of Grantor's facilities. Grantee shall not place its facility within 25 feet of any pole or tower leg. Grantee shall reimburse Grantor for any and all costs and expenses incurred by Grantor for any relocation or alteration of its facilities located on or near the easement that Grantor, in its sole discretion, determines are subject to interference from the said Grantee's Facility or from the exercise by Grantee of any of its rights hereunder.

This easement is granted upon the conditions that Grantee's Facility to be constructed shall be maintained and operated by Grantee at no expense to Grantor and Grantor shall not be responsible for any costs of construction, reconstruction, operation, maintenance or removal of Grantee's Facility.

To the extent permitted by law, Grantee agrees to defend, indemnify and hold Grantor, its officers, agents and employees, harmless against any and all claims, lawsuits, judgements, costs, and expenses for personal injury (including death), property damage or other harm for which recovery of damages is sought, suffered by any person or persons that may arise out of, or be occasioned, by any negligent act or omission of Grantee, its officers, agents, associates, employees or subconsultants; except that the indemnity provided for in this paragraph shall not apply to any liability resulting from the sole negligence of Grantor, its officers, agents, or employees or separate contractors, and in the event of joint and concurrent negligence of both Grantor and Grantee, responsibility and indemnity, if any, shall be apportioned comparatively in accordance with the laws of the State of Texas, without, however, waiving any governmental immunity or other defenses available to the parties under Texas Law. The provisions of this paragraph are solely for the benefit of the parties hereto and not intended to create or grant any rights, contractual or otherwise, to any other person or entity.

Grantee shall, at its own cost and expense comply with all applicable laws, including but not limited to existing zoning ordinances, governmental rules and regulations enacted or promulgated by any governmental authority and shall promptly execute and fulfill all orders and requirements imposed by such governmental authorities for the correction, prevention and abatement of nuisances in or upon or connected with said premises because of Grantee's use thereof.

This easement, subject to all liens of record, shall continue only so long as Grantee shall use this right of way for the purpose herein described and the same shall immediately lapse and terminate upon cessation of such use.

TO HAVE AND TO HOLD the above described easement and rights unto the Grantee, its successors and assigns, for the purposes aforesaid and upon the conditions herein stated until the same shall be abandoned for use by the Grantee for the purpose herein stated, then and thereupon this conveyance shall be null and void and the use of said land and premises shall absolutely revert to Grantor herein, its successors and assigns, and no act or omission on the part of them shall be construed as a waiver of the enforcement of such condition.

AND Grantor does hereby bind itself, its successors and assigns, to WARRANT AND FOREVER DEFEND all and singular the above described easement and rights unto the Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, by, through or under Grantor but not otherwise.

EXECUTED as of this _____ day of _____, 2021.

GRANTOR:

ONCOR ELECTRIC DELIVERY COMPANY LLC

By: _____
Wilson Peppard P.E.
Attorney-in-Fact

STATE OF TEXAS §
 §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared Wilson Peppard, as the Attorney-In-Fact of Oncor Electric Delivery Company LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated and he is authorized to do so.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, A. D. 2021.

Notary Public in and for the State of Texas

GRANTEE:

CITY OF RICHLAND HILLS

By: _____

Name: _____

Title: _____

STATE OF TEXAS §
 §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared _____, as the _____ of the **City of Richland Hills**, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated and he/she is authorized to do so.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, A. D. 2021.

Notary Public in and for the State of Texas

**EXHIBIT A
PERMANENT STREET
EASEMENT AGREEMENT**

Being a tract of land in the Allen S. Trimble Survey, Abstract no. 1529, Tarrant County, Texas, being a part of that called 2.095 acre tract of land described in Warranty Deed to Texas Electric Service Company as recorded in Volume 2356, Page 564 in the Deed Records of Tarrant County, Texas, and being more particularly described as follows:

BEGINNING at the northeast corner of Lot 1, Block 47 of the plat of Parts of Blocks 41, 42, 42, 44 & 45 & Blocks 46 Thru 53, Richland Park, an addition to Richland Hills, Tarrant County, Texas as recorded in Volume 388-V, Page 122 in the Plat Records of Tarrant County, Texas (P.R.T.C.T.), being on the west right-of-way line of Cecil Drive (50 foot wide right-of-way), and being on the south line of said called 2.095 acre tract of land, from which a 1/2-inch found iron rod with cap stamped "BURNS SURVEYING" bears North 45 degrees 44 minutes 03 seconds East, a distance of 0.95 feet;

THENCE North 01 degree 16 minutes 40 seconds West, a distance of 24.23 feet to a point for corner at the intersection of the prolongation of said west right-of-way line and the prolongation of the south right-of-way line of Lavon Drive;

THENCE North 70 degrees 15 minutes 26 seconds West, a distance of 97.03 feet to the most easterly corner of Lot 16 of said Block 47 and being on the northerly line of said called 2.095 acre tract of land;

THENCE North 77 degrees 53 minutes 38 seconds East, along said northerly line, a distance of 98.71 feet to the most southerly corner of Lot 11, Block 41 of said Richland Park, and being the point of curvature of a circular curve to the left, not being tangent to the preceding course, having a radius of 653.00 feet, whose chord bears South 77 degrees 45 minutes 00 seconds East, a distance of 181.86 feet;

THENCE Southeasterly, departing said northerly line and along said circular curve to the left, through a central angle of 16 degrees 00 minutes 32 seconds, passing a 3/8-inch found iron rod at an arc length of 58.98 feet and continuing for a total arc length of 182.45 feet to the most westerly corner of Lot 9, Block 45 of said Richland Park, being on the northerly right-of-way line of said Lavon Drive, and being on the southerly line of said called 2.095 acre tract of land;

THENCE South 77 degrees 53 minutes 38 seconds West, over and across said Lavon Drive and along said southerly line, a distance of 186.51 feet to the **POINT OF BEGINNING AND CONTAINING 8,826 square feet or 0.2026 acres of land, more or less.**

A plat accompanies this legal description.

Basis of bearing is NAD 83 (1993) Texas Coordinate System, Texas North Central Zone (4202), based upon Leica SmartNet Network system as surveyed January 5, 2021. Distances shown are surface values using TxDOT Tarrant County scale factor of 1.00012.

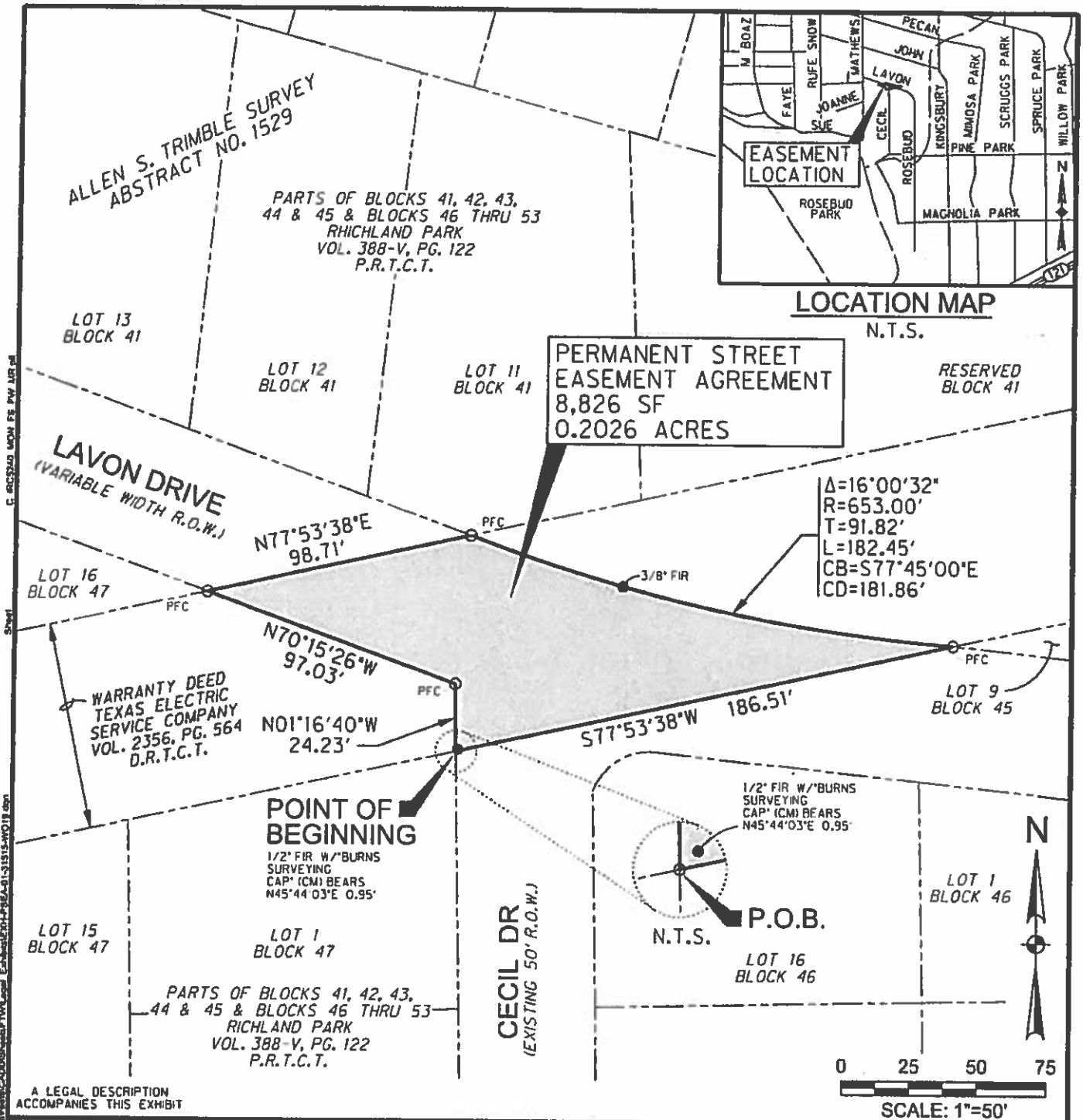
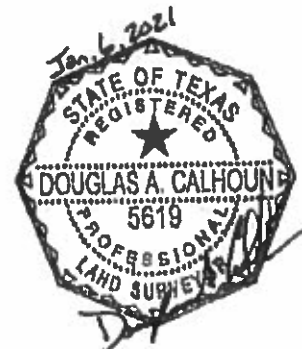


EXHIBIT "A"
0.2026 ACRE
PERMANENT STREET EASEMENT AGREEMENT
SITUATED IN THE
ALLEN S. TRIMBLE SURVEY
ABSTRACT NO. 1529
IN THE
CITY OF RICHLAND HILLS, TARRANT COUNTY TEXAS

Base of Bearing is (NAD 83) (1993) Texas Coordinate System, Texas North Central Zone (4202), based upon Leica SmartNet Network as surveyed on January 5, 2021. Distances shown are surface values, using TxDOT Tarrant County scale factor of 1.00012.

LEGEND

- PERMANENT STREET EASEMENT AGREEMENT
- EXISTING R.O.W./PROPERTY LINE
- (CM) CONTROL MONUMENT
- FIR FOUND IRON ROD (UND)
- PFC POINT FOR A CORNER
- D.R.T.C.T.** DEED RECORDS OF TARRANT COUNTY TEXAS
- P.R.T.C.T.** PLAT RECORDS OF TARRANT COUNTY TEXAS



DGN: EXH-PSEA-01-31515-WO19.dgn

AVO: 31515-WO19

DATE: 05/12/2021

PAGE NO.: 2 OF 2

I, Douglas A. Calhoun, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from a survey made on the ground under my supervision and direction.

CONSTRUCTION LIMITATIONS ON
Oncor ELECTRIC DELIVERY COMPANY RIGHT OF WAY
EXHIBIT "B"

1. You are notified, and should advise your employees, representatives, agents, and contractors, who enter the property that they will be working in the vicinity of high voltage electrical facilities and should take proper precautions, included but not limited to the following stipulations and in compliance, at all times, with Chapter 752, V.T.C.A., Health & Safety Code.
2. Blasting is not to be permitted on Oncor right-of-way or under Oncor lines.
3. Construction on electric transmission line easements acquired by Oncor after January 1, 2003 shall comply with the requirements of Public Utility Commission Substantive Rules §25.101, as amended from time to time.
4. No crossing less than 45 degrees to the centerline of the right-of-way.
5. Grading will be done in order to leave the right-of-way as near as possible to present condition. Spoil dirt will be removed from the right-of-way and no trash is to be left on right-of-way. Slopes shall be graded so that trucks can go down the right-of-way when required and such that the slopes can be mechanically maintained.
6. Equipment and materials will not be stored on the right-of-way during construction without written approval of the Supervisor of Regional Transmission.
7. Street or road crossings are to be based on drawings submitted. Any change in alignment or elevation will be resubmitted for approval.
8. No signs, lights or guard lights will be permitted on the right-of-way.
9. Power line safety equipment operations: hazard assessment and precautions inside the work zone area must be performed and in compliance with OSHA Standard §1926.1408 at all times. Equipment shall not be placed within fifteen (15) feet of the Oncor 138,000 volt or less power lines or within twenty (20) feet of the Oncor 345,000 volt power lines.

10. Any pre-approved fencing will not exceed eight (8) feet in height, and if metal in nature, will be grounded, at ten (10) feet intervals, with an appropriate driven ground. Gates should be at least sixteen (16) feet in width to allow Oncor access to the right-of-way.
11. No dumpsters will be allowed on Oncor right-of-way or fee owned property.
12. Draglines will not be used under the line or on Oncor right-of-way.
13. The existing grade shall not be disturbed, excavated or filled within 25 feet of the nearest edge of any Oncor transmission structure (tower, pole, guy wire, etc...).
14. Right-of-way will be protected from washing and erosion by Oncor approved method before any permits are granted. No discharging of water will be allowed within any portion of the right of way. Drainage facilitation will not be allowed to discharge into/onto Oncor right-of-way.
15. No obstruction shall be installed on the right-of-way that would interfere with access to Oncor structures or prevent mechanical maintenance.
16. Before any work is done under Oncor lines or by Oncor structures notify the Region Transmission Department, **817-496-2746**.
17. No hazardous materials will be stored on the right of way.
18. For purposes of this document, "Hazardous Materials" means and includes those substances, including, without limitation, asbestos-containing material containing more than one percent (1%) asbestos by weight, or the group of organic compounds known as polychlorinated biphenyls, flammable explosives, radioactive materials, chemicals known to cause cancer or reproductive toxicity and includes any items included in the definition of hazardous or toxic waste, materials or substances under any Hazardous Material Law. "Hazardous Material Laws" collectively means and includes any present and future local, state and federal law relating to the environment and environmental conditions including, without limitation, the Resource Conservation and Recovery Act of 1976 ("RCRA"), 42 U.S.C. §6901 et seq., the Comprehensive Environmental Response, Compensation and Liability Act of 1980, ("CERCLA"), 42 U.S.C. §§9601-9657, as amended by the Superfund Amendments and Reauthorization Act of 1986 ("SARA"), the Hazardous Material Transportation Act, 49 U.S.C. §6901 et seq., the Federal Water Pollution Control Act, 33 U.S.C. §1251, et seq., the Clean Air Act, 42 U.S.C. §741 et seq.,

the Clean Water Act, 33 U.S.C. §7401 et seq., the Toxic Substances Control Act, 15 U.S.C. §§2601-2629, the Safe Drinking Water Act, 42 U.S.C. §§300f-330j, and all the regulations, orders, and decrees now or hereafter promulgated thereunder.

19. Brush and cut timber is not to be piled or stacked on Oncor right-of-way nor is it allowed to be burned upon or in close proximity to the conductors or towers.
20. No structures or obstructions, such as buildings, garages, barns, sheds, swimming pools, playground equipment, guard houses, etc., will be permitted on the right-of-way.
21. Landscaping on Oncor right-of-way is permitted when Oncor approves landscaping plans in writing. No lighting or sprinkler systems are allowed on the right-of-way.
22. No park or park designation will be permitted on the right-of-way.
23. Gas Pipeline Protective Barrier; Grantee, at Grantee's sole expense, shall provide one of the following protective barriers; **1)** a concrete protective barrier between the surface and the pipe that is a minimum of one (1) foot thick by one (1) foot wide, if pipe is wider than one (1) foot, then width of pipe, with the top of the concrete barrier to be at least one (1) foot below the surface or final grade, **2)** construct the gas pipeline inside of a proper protective steel casing, **3)** where electric facilities are located above ground, install the pipeline a minimum of ten (10) feet below the ground surface, or **4)** where electric facilities are located below ground, install the pipeline at a depth that provides for a minimum of a ten (10) foot clearance between the pipeline and the underground electric facilities.
24. No fire hydrants or manholes will be permitted within the right-of-way.
25. Any drainage feature that allows water to pond, causes erosion, directs stormwater toward the right-of-way or limits access to or around Oncor's facilities is prohibited. Drainage facilitation will not be allowed to discharge into/onto Oncor right-of-way.
26. No boring pits or other type of pits will be permitted within the right-of-way.

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Logan Thatcher, Assistant to the City Manager

Date: June 14, 2021

Subject: 625 NE Loop 820 Replat Request

Agenda Item:

Consider a replat of Hiley Mazda Addition, Lot 1, Block 1 of Tract F-R and Tract C of South Hayworth Addition, City of Hurst and City of Richland Hills, Tarrant County, Texas otherwise known as 625 NE Loop 820, Hurst, Texas 76053 **PUBLIC HEARING**

Background Information:

The property at 625 NE Loop 820 is a 47,895 square foot lot owned by Hiley Land LP. The majority of the lot is located in the City of Hurst with a portion being in the City of Richland Hills.

Hiley Auto is adding 2500 square feet to their northern property line, which triggered a replat in the City of Hurst. Since portions of the property are in both cities, the City of Richland Hills must also approve the replat. The replat was recently approved by the Hurst Planning and Zoning Commission and Hurst City Council.

Staff has reviewed the replat request and recommends approval.

Financial Considerations:

Approval of the replat will not require additional funding from the city

Legal Review:

N/A

Board/Citizen Input:

The Planning and Zoning Commission considered the replat at their May 25, 2021 meeting and recommended approval 4-0

Attachments:

Replat Application

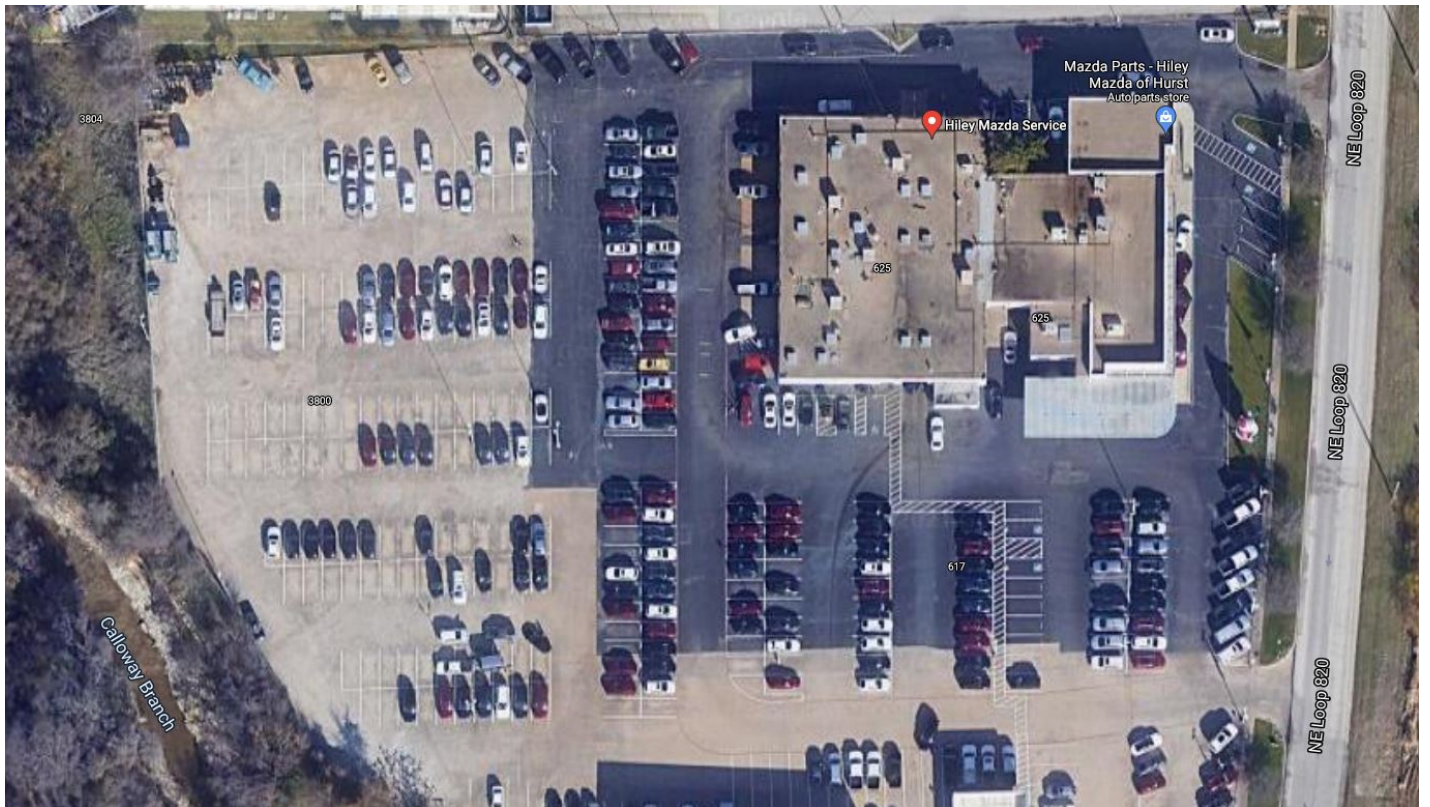
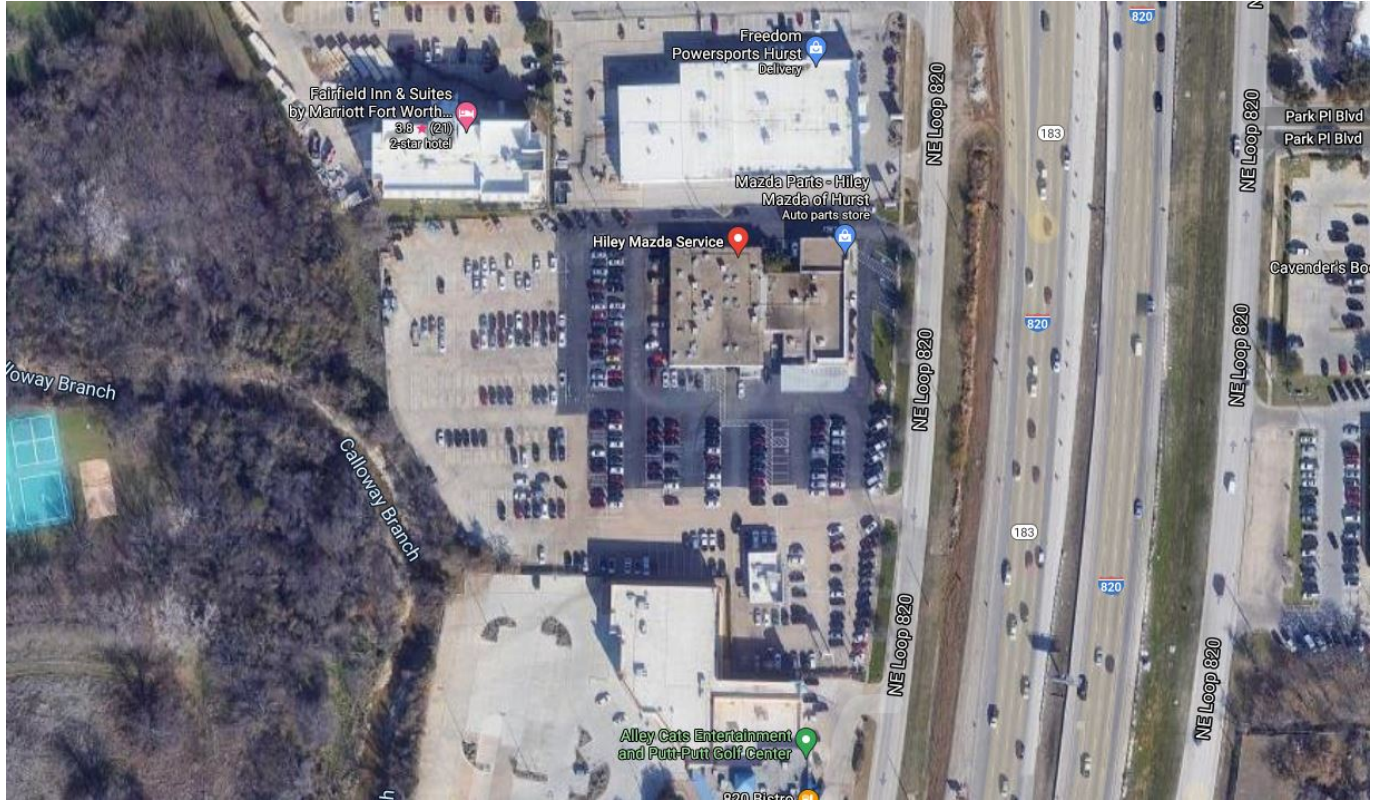
Location Map
Property Photo
Civil Plans
Original Plat
Proposed Replat

Suggested Motion:

Motion to approve a replat of Hiley Mazda Addition, Lot 1, Block 1 of Tract F-R and Tract C of South Hayworth Addition, City of Hurst and City of Richland Hills, Tarrant County, Texas otherwise known as 625 NE Loop 820, Hurst, Texas 76053

Plat Application

Indicate application type				
☐ Preliminary Plat	☐ Final Plat	☐ Amended Plat	☒ Replat	☐ Vacated Plat
Property Owner Information				
Name	Hiley Land, LP			
Address	625 NE Loop 820			
Contact Number				
Contact E-Mail				
I, the undersigned owner or authorized agent of the following described real property, located in the City of Richland Hills, Texas, hereby make application for a plat request as indicated above. The property is legally described as, _____ Hiley Mazda Addition, Block 1, Lot 1 _____ (Provide legal description of property on line above)				
Signature 			Date 3/15/2021	
Size/Dimension of Property				
Area (square feet or acres)	Width (feet)		Length (feet)	
4.99 AC	596'		489'	
Applicant Information				
Name	Drew Donosky			
Address	1903 Central Drive, Ste 406, Bedford, TX 76021			
Contact Number	817.281.0572			
Contact E-Mail	drew@claymooreeng.com			
Subject Site (Address)	625 NE Loop 820 Hurst, TX 76053			
For Official Use. Do not write below this line				
Case Number			Date Received	
Accepted by				
Comments				

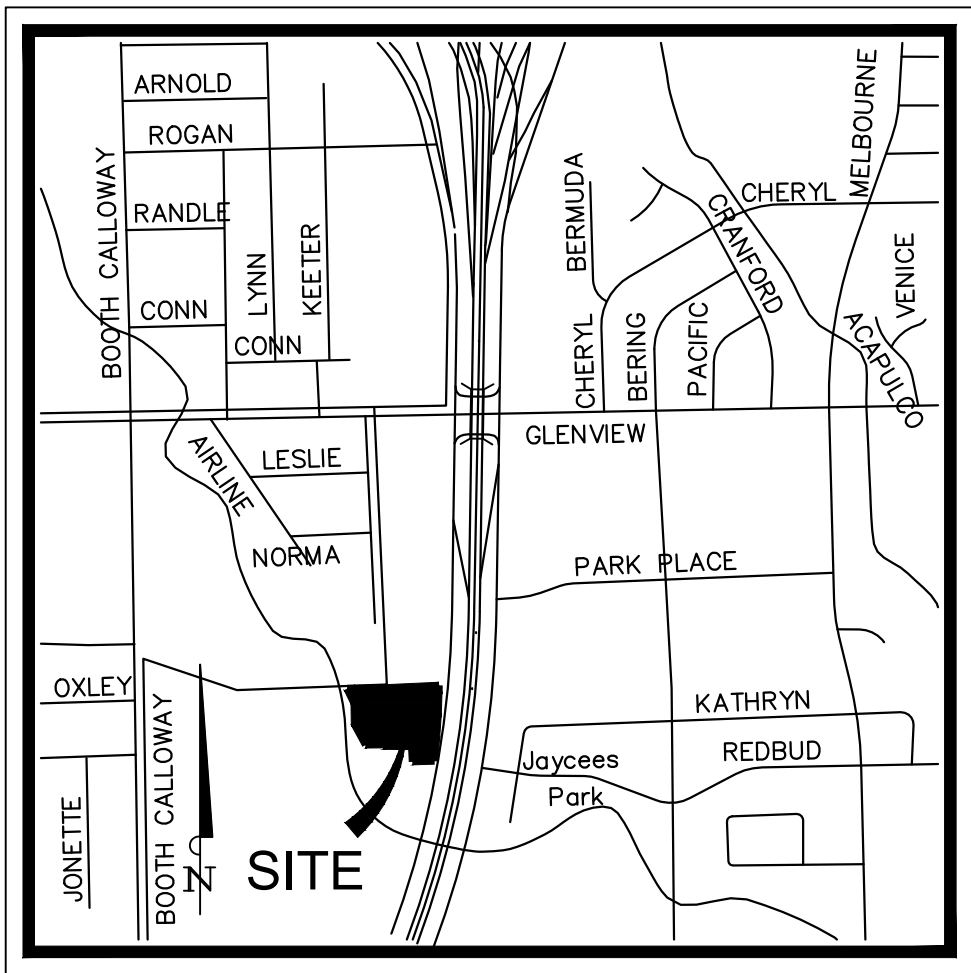




CIVIL PLANS

HILEY MAZDA HURST BUILDING ADDITION

625 NE LOOP 820,
HUSRT, TEXAS

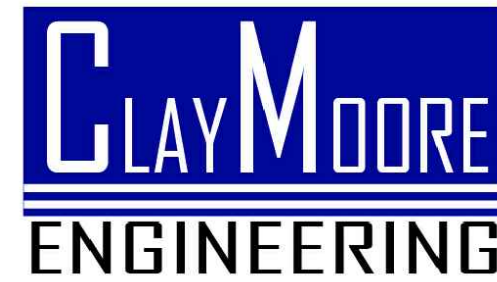


VICINITY MAP
N.T.S.

SHEET LIST TABLE		
SHEET NUMBER	SHEET TITLE	REVISION DATE
C-0	COVER	3/8/2021
P-1	PLAT	
SP-1	SITE PLAN	3/8/2021
C-1	GENERAL NOTES	3/8/2021
C-2	EROSION CONTROL PLAN	3/8/2021
C-3	DIMENSION CONTROL & PAVING PLAN	3/8/2021
C-4	GRADING PLAN	3/8/2021
C-5	UTILITY PLAN	3/8/2021
C-6	CITY STANDARD DETAILS	3/8/2021
LP-1	LANDSCAPE PLAN	3/8/2021
LP-2	LANDSCAPE DETAILS	3/8/2021

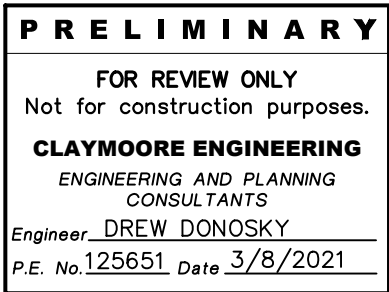
PLAN SUBMITTAL LOG	
DESCRIPTION	SUBMITTAL DATE
1st SUBMITTAL	1/25/2021
2nd SUBMITTAL	3/8/2021

ENGINEER

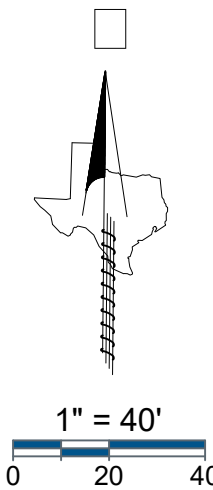
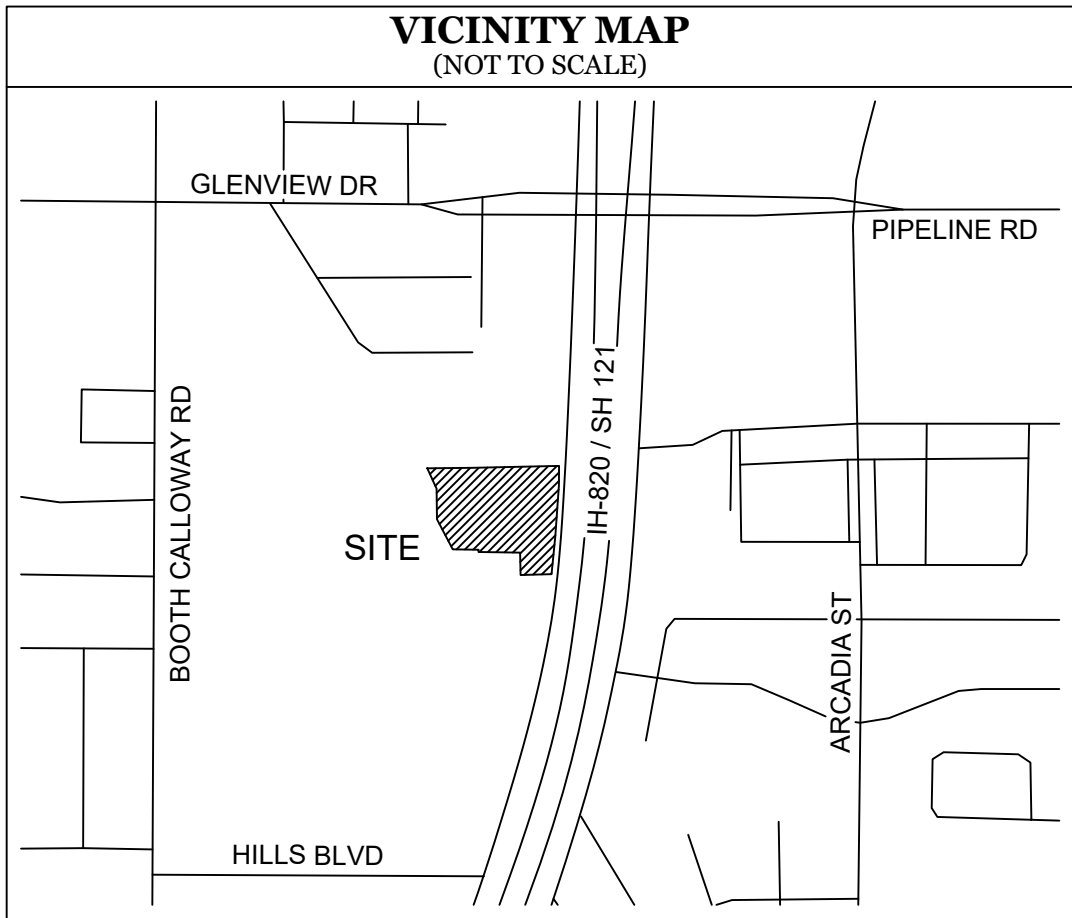


TEXAS REGISTRATION #14199
1903 CENTRAL DR.
SUITE #406
BEDFORD, TX 76021
PH. 817.281.0572
FAX 817.281.0574
CONTACT: DREW DONOSKY, PE
EMAIL: DREW@CLAYMOOREENG.COM

MARCH 2021



HILEY MAZDA HURST BUILDING ADDITION - 625 NE LOOP 820, HUSRT, TX



- GENERAL NOTES**
- 1.) The purpose of this plat is to abandon Fire Lane Easement(s) and combine existing lots.
 - 2.) This property is located in "Floodway", "Zone AE", "Shaded Zone X" and "Non-shaded Zone X" according to the F.E.M.A. Flood Insurance Rate Map dated March 21, 2019 as shown on Map Number 48439C0205L.
 - 3.) The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTK Network, North American Datum of 1983 (Adjustment Realization 2011).
 - 4.) Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
 - 5.) All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
 - 6.) The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTK Network, North American Datum of 1983 (Adjustment Realization 2011).

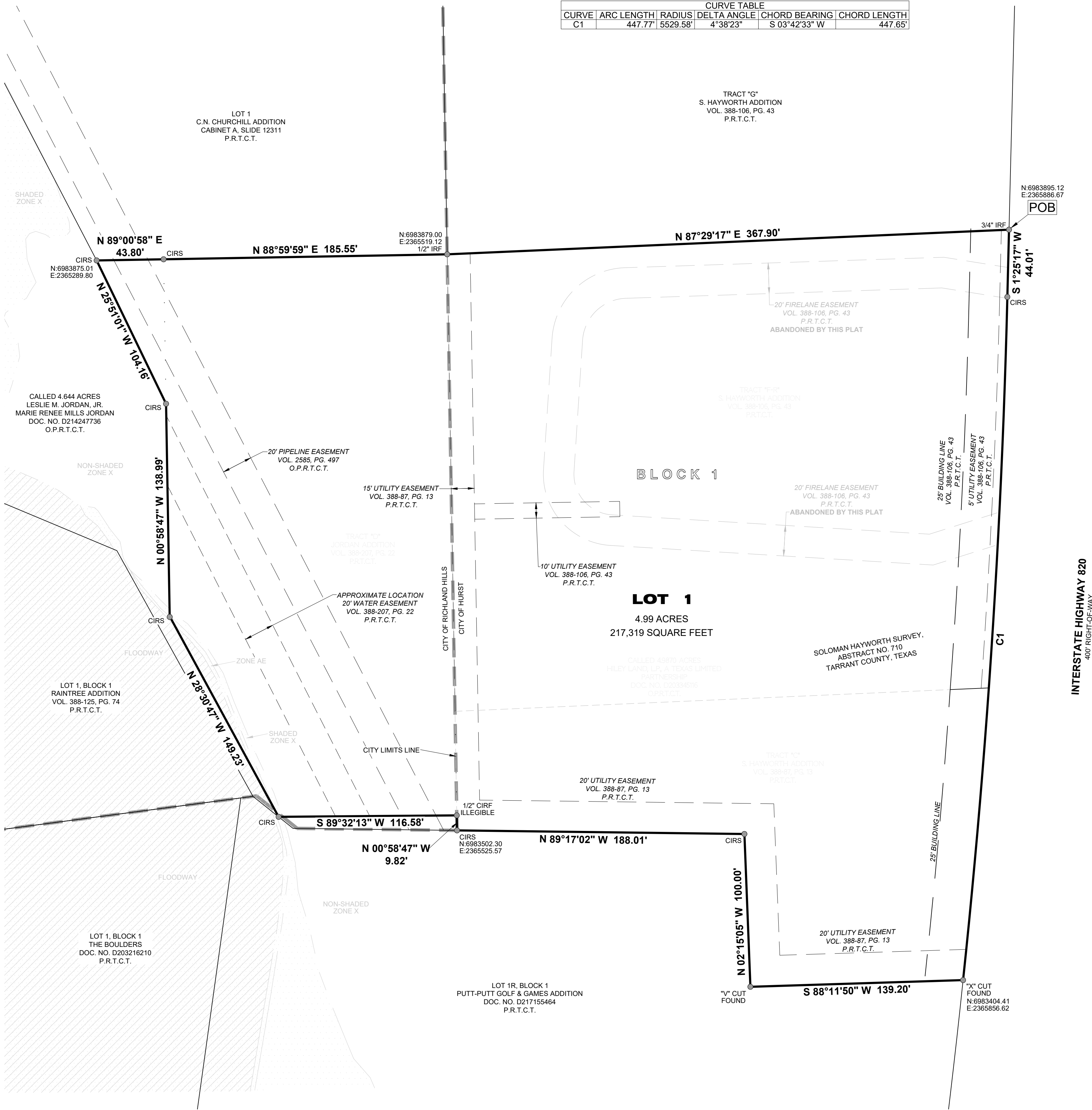
LEGEND	
PG	= PAGE
VOL	= VOLUME
POB	= POINT OF BEGINNING
IRF	= IRON ROD FOUND
CIRF	= CAPPED IRON ROD FOUND
CIRS	= CAPPED IRON ROD SET
DOC. NO.	= DOCUMENT NUMBER
P.R.T.C.T.	= PLAT RECORDS, TARRANT COUNTY, TEXAS
O.P.R.T.C.T.	= OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS

SURVEYOR
Eagle Surveying, LLC
Contact: Tyler Rank
210 S. Elm Street, Suite: 104
Denton, TX 76201
(940) 222-3009

ENGINEER
Claymoore Engineering
Contact: Matt Moore
1903 Central Dr, # 406
Bedford, TX 76021
(817) 281-0572

OWNER
Hiley Land, LP
625 NE Loop 820
Hurst, TX 76053

Project	2010.052-02	 EAGLE SURVEYING, LLC 210 S. Elm Street, Suite: 104 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	01/22/2021	
Drafter	TAR	



CERTIFICATE OF APPROVAL ☐ RICHLAND HILLS	
This plat has been submitted to and considered by the PLANNING AND ZONING COMMISSION of the City of Richland Hills, Texas, and is hereby approved by such Commission.	The City Council of Richland Hills, Texas, on _____, 2021 voted affirmatively to adopt this plat and approve it for filing of record.
Date this ____ day of _____, 2021	
Chairman	Mayor
Attest: Secretary, Planning and Zoning Commission	Attest: City Secretary

CERTIFICATE OF APPROVAL ☐ HURST	
WHEREAS , the Planning and Zoning Commission of the City of Hurst, Texas voted affirmatively on this _____ day of _____, 2021 to approve this final plat.	WHEREAS , the City Council of the City of Hurst, Texas voted affirmatively on this _____ day of _____, 2021 to approve this plat for filing of record.
Chairman, Planning and Zoning Commission	Mayor, City of Hurst
Attest: Secretary, Planning and Zoning Commission	Attest: City Secretary

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, **HILEY LAND, LP** is the owner of a 4.99 acre tract of land out of the Solomon Hayworth Survey, Abstract Number 710 situated in the City of Hurst and the City of Richland Hills, Tarrant County, Texas, being all of a called 4.9870 acre tract of land conveyed to Hiley Land, LP by special warranty deed with vendors lien of record in Document Number D203345116 of the Official Public Records of Tarrant County, Texas, also being all of Tract "F-R" of S. Hayworth Addition, a subdivision of record in Volume 388-106, Page 43 of the Plat Records of Tarrant County, Texas, also being Tract "C" of S. Hayworth Addition, a subdivision of record in Volume 388-87, Page 13 of said Plat Records, and also being Tract "D" of Jordan Addition, a subdivision of record in Volume 388-207, Page 22 of said Plat Records, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 3/4" iron rod found in the West Right-of-Way line of Interstate Highway 820 (IH-820), being the Southeast corner of Tract "G" of S. Hayworth Addition, a subdivision of record in Volume 388-106, Page 43 of said Plat Records, also being the common Northeast corner of said Tract "F-R" and also being the common Northeast corner of said 4.9870 acre tract;

THENCE, along the West Right-of-Way line of said IH-820, being the East line of said 4.9870 acre tract, also being in part the common East line of said Tract "F-R", and also being in part the East line of said Tract "C" the following two courses and distances:

1. S01°25'17"W, a distance of 44.01 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
2. along said non-tangent curve to the right, having a radius of 5529.58 feet, a chord bearing of S03°42'33"W, a chord length of 447.65 feet, a delta angle of 04°38'23", an arc length of 447.77 feet to an "X" cut found at the Northeast corner of Lot 1R, Block 1 of Putt-Putt Golf & Games Addition, a subdivision of record in Document Number D217155464 of said Plat Records, also being the common Southeast corner of said Tract "C" and the common Southeast corner of said 4.9870 acre tract;

THENCE, along the North line of said Lot 1R, also being the common South line of said Tract "C" and the common South line of said 4.9870 acre tract, the following 3 courses and distances:

1. S88°11'50"W, a distance of 139.20 feet to a "V" cut found;
2. N02°15'05"W, a distance of 100.00 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
3. N89°17'02"W, a distance of 188.01 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southwest corner of said Tract "C";

THENCE, N00°58'47"W, along the South line of said 4.9870 acre tract and the Common West line of said Tract "C", a distance of 9.82 feet to a 1/2" iron rod with yellow plastic cap (illegible) found at the Southeast corner of said Tract "D";

THENCE, S89°32'13"W, along the South line of said Tract "D" and the common South line of said 4.9870 acre tract, a distance of 116.58 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southwest corner of said Tract "D", also being the common Southwest corner of said 4.9870 acre tract;

THENCE, N28°30'47"W, along the West line of said Tract "D" and the common West line of said 4.9870 acre tract, a distance of 149.23 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;

THENCE, N00°58'47"W, along the West line of said Tract "D" and the common West line of said 4.9870 acre tract, a distance of 138.99 feet to a along the West line of said Tract "D", also being the common West line of said 4.9870 acre tract;

THENCE, N25°51'01"W, along the West line of said 4.9870 acre tract, a distance of 104.16 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southwest corner of Lot of C.N. Churchill Addition, a subdivision of record in Cabinet A, Slide 12311 of said Plat Records, also being the Northwest corner of said 4.9870 acre tract;

THENCE, N89°00'58"E, along the South line of said Lot 1 of C.N. Churchill Addition, also being the common North line of said 4.9870 acre tract, a distance of 43.80 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;

THENCE, N88°59'59"E, along the South line of said Lot 1 of C.N. Churchill Addition, also being the common North line of said 4.9870 acre tract, a distance of 185.55 feet to a 1/2" iron rod found at the Southeast corner of said Lot 1 of C.N. Churchill Addition and the common Southwest corner of said Tract "G";

THENCE, N87°29'17"E, along the South line of said Tract "G", also being the common North line of said 4.9870 acre tract, a distance of 367.90 feet to the **POINT OF BEGINNING** and containing an area of 4.99 Acres (or 217,319 Square Feet) of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **HILEY LAND, LP**, does hereby adopt this plat designating the herein described real property as the herein stated **HILEY MAZDA ADDITION**, an addition to the City of Hurst and the City of Richland Hills, Tarrant County, Texas and does hereby dedicate to the public's use the easements and right-of-ways shown hereon.

OWNER: **HILEY LAND, LP**

BY: _____ Date _____

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2021.

Notary Public in and for the State of Texas

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF DENTON §

I, **MATTHEW RAABE**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Hurst and the City of Richland Hills, Tarrant County, Texas.

PRELIMINARY

this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

Matthew Raabe, R.P.L.S. # 6402 Date _____

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

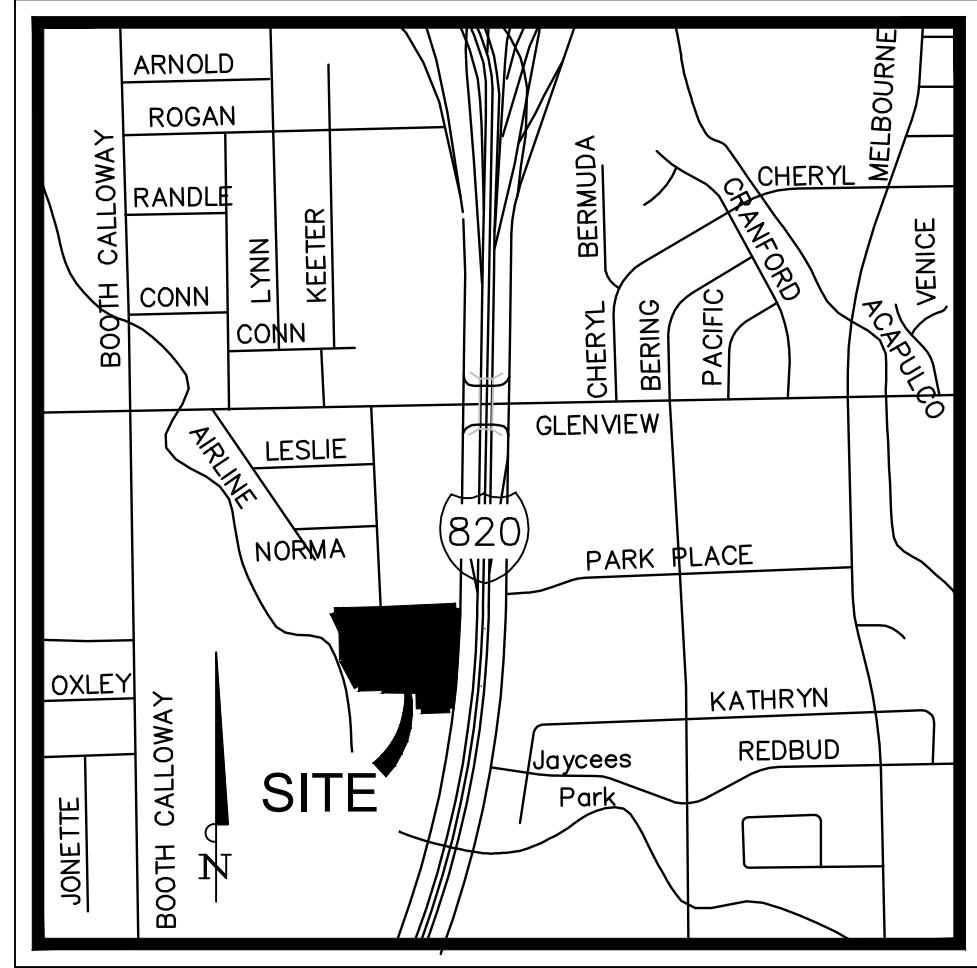
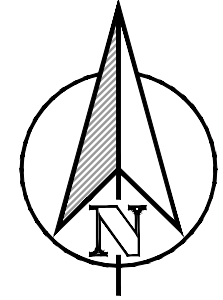
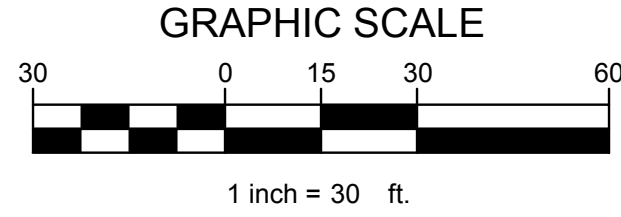
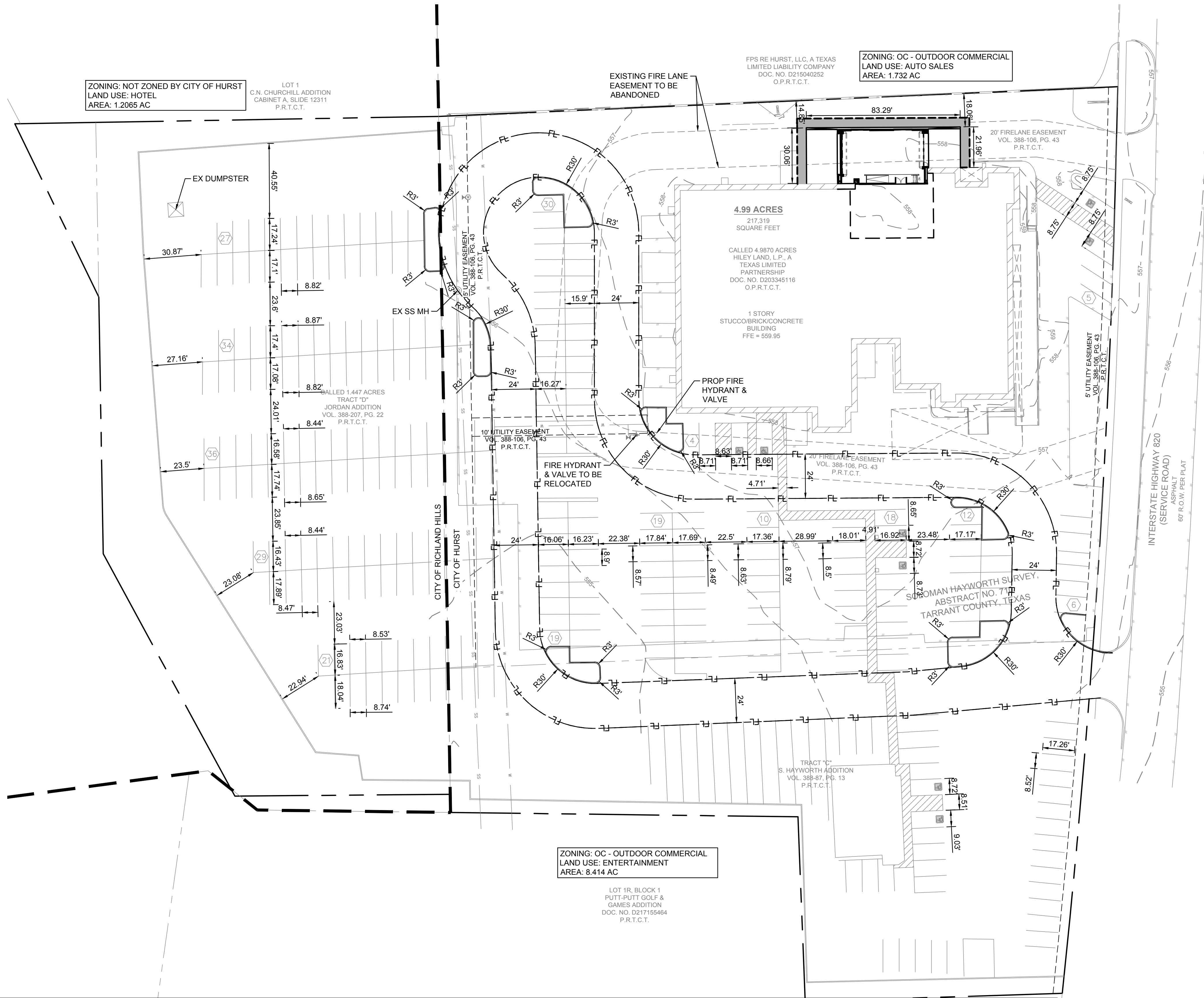
GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2021.

Notary Public in and for the State of Texas

REPLAT
HILEY MAZDA ADDITION
LOT 1, BLOCK 1
4.99 ACRES
BEING A REPLAT OF TRACT F-R OF S. HAYWORTH ADDITION
VOL. 388-106, PG. 43, P.R.T.C.T.
AND TRACT C, S. HAYWORTH ADDITION
VOL. 388-87, PG. 13, P.R.T.C.T.
SOLOMON HAYWORTH SURVEY, ABSTRACT NO. 710,
CITY OF HURST and CITY OF RICHLAND HILLS
TARRANT COUNTY, TEXAS

PLOTTED BY: DREW DONOSKY
PLOT DATE: 5/26/2021 3:21 PM
LOCATION: Z:\PROJECTS\PROJECTS\2020-178 HILEY HURST\CADD\SHEETS\SP-1 SITE PLAN.DWG
LAST SAVED: 5/24/2021 3:05 PM

SITE DATA SUMMARY																								
TRACT	ZONING	PROPOSED USE	LOT MINIMUMS		LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BLDG. AREA (SQ. FT.)	BLDG HGT. (FT-# ST.)	LOT COVERAGE		FLR AREA RATIO		PARKING			AREA SQ.FT	HANDICAP SP.		BIKE PARKING		TOTAL IMPERVIOUS (SQ. FT.) HURST		TOTAL IMPERVIOUS (SQ. FT.) RICHLAND HILLS	
									REQ.	PROV.	REQ.	PROV.	REQ. RATIO	REQ.	PROV.		REQ.	PROV.	REQ.	PROV.				
D & F-R	OC	AUTO SALES	AREA SETBACK	22,500 SF 25 FT	4.99	217,319	24,350	35	30% MAX	11.2%	30% MAX	11.2%	1 PER 500 SF	49	301	46,305	7	8	-	-	133,450	88%	60,756	93%



VICINITY MAP
N.T.S.

LEGEND	
	MEDIUM TRAFFIC CONCRETE PAVEMENT (6" MIN CONCRETE PAVEMENT W/ #3 BARS @ 18" OCEW & 8" LIME STABILIZED SUBGRADE)
	PROPOSED CONCRETE CURB AND GUTTER.
	PROPOSED SAW CUT
	PARKING COUNT

LEGAL DESCRIPTION
A TRACT OF LAND SITUATED IN THE S. HAYWORTH SURVEY, ABSTRACT NUMBER 710, TARRANT COUNTY TEXAS, BEING A PART OF LOT 2 BLOCK A, TOYOTA-HURST, BEING A REPLAT OF LOT 1, BLOCK A, TOYOTA-HURST IN THE CITY OF HURST, TARRANT COUNTY TEXAS, AND RECORDED IN CABINET A, SLIDE 9863, PLAT RECORDS TARRANT COUNTY TEXAS.

THE EXTERIOR BOUNDARY OF SAID TRACT OF LAND IS FURTHER DESCRIBED AS FOLLOWS:
BEGINNING AT A 1/2" IRON ROD FOUND BEING THE SOUTHWEST CORNER OF LOT 6, HURST HILLS ADDITION FOURTH FILING, AND RECORDED IN VOLUME 388-25, PAGE 17, PLAT RECORDS TARRANT COUNTY TEXAS, BEING IN THE EAST RIGHT OF WAY OF NORTHEAST LOOP 820, STATE HIGHWAY 183 SERVICE ROAD, THE NORTHWEST CORNER OF LOT 2, AND THE POINT OF BEGINNING;
THENCE S 31°12'42" E ALONG THE NORTHEAST LINE OF THIS PLAT AND THE SOUTHWEST LING OF HURST HILLS ADDITION FOURTH FILING 438.62 FEET TO THE START OF A CURVE TO THE RIGHT, AND MARKED BY A 5/8" IRON ROD FOUND;
THENCE SOUTHEASTERLY 32.12 FEET ALONG THE ARC OF A CURVE ALONG THE COMMON LINE, CENTER OF WHICH LIES TO THE WEST, RADIUS OF 59.58 FEET, CENTRAL ANGLE OF 30°53'09", CHORD OF WHICH BEARS S 15°19'27" E 31.73 FEET AND MARKED BY A CAPPED 1/2" IRON ROD SET STAMPED EAGLE SURVEYING;
THENCE S 00°19'48" E ALONG THE COMMON LINE 110.30 FEET, AND MARKED BY A CAPPED 1/2" IRON ROD SET STAMPED EAGLE SURVEYING;
THENCE N 68°01'07" W 412.71 FEET TO THE EAST RIGHT OF WAY OF NORTHEAST LOOP 820, STATE HIGHWAY 183 SERVICE ROAD AND MARKED BY A CAPPED 1/2" IRON ROD SET STAMPED EAGLE SURVEYING;
THENCE N 22°02'32" E ALONG SAID RIGHT IF WAY 390.07 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.19 ACRES MORE OR LESS.

HILEY MAZDA HURST	
CASE # : SITE-2021-00001	
OWNER:	
HILEY LAND, LP 625 NE LOOP 820 HURST, TX 76053	
APPLICANT/REPRESENTATIVE:	
CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CONTACT NAME: CLAY CRISTY	
SURVEYOR:	
EAGLE SURVEYING, LLC 210 SOUTH ELM STREET, SUITE #104 DENTON, TX 76201 PH: 940.222.3009	
CONTACT NAME: DAN RICK	
LEGAL DESCRIPTION:	
HILEY MAZDA ADDITION LOT 1, BLOCK 1 4.99 ACRES	
CITY: HURST	
STATE: TEXAS	
COUNTY:	SURVEY:
TARRANT	SOLOMAN HAYWORTH
ABSTRACT NO.	
710	

DESIGN:	MAM
DRAWN:	MAM
CHECKED:	MAM
DATE:	01/10/2020
SHEET	
SP-1	
File No.	2016-XXX

HILEY MAZDA OF HURST
625 NE LOOP 820,
HURST, TEXAS 76053

SITE PLAN REVISION

No.	DATE	REVISION	BY

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

1105 GERRARD RD. SUITE #1
COLLEEN, TX 76034
PHONE 817.281.0572
WWW.CLAYMOORE.COM

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date 3/26/2021

RECORDED BY: REGOE SMITH
PLOT DATE: 3/16/2021 1:54 PM
LOCAL DATE: 3/16/2021 1:54 PM
LAST SAVED: 1/25/2021 9:05 AM

GENERAL NOTES

1. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY'S DESIGN STANDARDS. IF NO CITY STANDARD IS APPLICABLE, MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE "NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIALS AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
3. THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION AND DEPTH OF ALL FRANCHISE UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS. SERVICES SHOWN ON THE PLANS, IF ANY, ARE CONCEPTUAL.
4. THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, POWER POLES, SIGNS, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS PROJECT.
5. BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE IS NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE VARIOUS PAY ITEMS FOR INSTALLATION OF PIPE.
6. THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
7. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
8. THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP, AND INSPECTION REPORTS.
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE ARCHITECT, CIVIL ENGINEER, CONTRACTOR AND OWNER DIRECTLY FROM THE TESTING AGENCY.
13. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
14. CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
15. CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
16. ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
17. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION AND INSTALLATION OF FRANCHISE UTILITIES NECESSARY FOR ON AND OFF SITE CONSTRUCTION. PAYMENT FOR RELOCATION AND INSTALLATION WILL BE NEGOTIATED ONCE IDENTIFIED.
18. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE SHOWN.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
20. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
21. CONTRACTOR SHALL GIVE NOTICE TO ALL AFFECTED PARTIES AND ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
22. ALL "RECORD" DIMENSIONS SHALL CONFORM TO THE DESIGN DIMENSIONS PLUS OR MINUS 0.02 FEET. ALL "RECORD" SLOPES SHALL CONFORM TO THE DESIGNED SLOPES PLUS OR MINUS 0.005 FOOT/FOOT.
23. CONTRACTOR SHALL CONTACT CITY BUILDING OFFICIAL TO LEARN OF ANY UNUSUAL CONSTRUCTION SEQUENCING REQUIREMENTS THAT THE CITY MAY REQUIRE. THE CONTRACTOR IS CAUTIONED THAT THIS AND PERHAPS OTHER SUCH REQUIREMENTS MAY EXIST AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND COMPLY WITH THEM.

PAVING AND STRIPING NOTES

1. THE REINFORCED PORTLAND CEMENT CONCRETE SHOULD HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI IN LIGHT DUTY AREAS, AND 3,500 PSI COMPESIVE STRENGTH AT DRIVE LANES, FIRE LANES, AND TRUCK AREAS AND A MINIMUM REINFORCING THAT SHOULD BE IN ACCORDANCE WITH ACCEPTED CODES AND SHALL STRICTLY ADHERE TO DETAILS INCLUDED IN THIS SET. A BASE SUB-GRADE PER THE GEOTECHNICAL REPORT IS REQUIRED BENEATH ALL PAVING.
2. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. PROCUREMENT OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECT SPECIFICATIONS.
3. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
4. THE CONTRACTOR SHALL REVIEW LOCATION OF ALL TRAFFIC CONTROL DEVICES WITH THE OWNER PRIOR TO INSTALLATION.
5. SEE M.E.P. PLANS FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS.
6. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE MOST RECENT VERSION OF THE AMERICANS WITH DISABILITIES ACT OF 1994 AND THE TEXAS ARCHITECTURAL BARRIERS ACT OF 1994, AND ALL ADDENDUMS OR UPDATES.
7. CONTRACTOR SHALL SUBMIT A PAVEMENT JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK.
8. ANY EXISTING CONCRETE OR ASPHALT SHOWN TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
9. CONSTRUCTION JOINTS SHALL BE REQUIRED AT INTERRUPTIONS OF PAVING OPERATIONS SUCH AS THOSE OCCURRING AT THE END OF THE DAY OR DUE TO WEATHER OR EQUIPMENT BREAKDOWN. PLACE AT LONGITUDINAL CONSTRUCTION OR ISOLATION JOINT LOCATIONS.
10. CONTRACTOR TO INSTALL CONSTRUCTION JOINTS IN CONCRETE PAVEMENT AT ALL PC'S AND AS CONVENIENT TO PHASING OF POURS. CONCRETE PAVEMENT TO BE CONSTRUCTED WITH ISOLATION JOINTS AROUND THE PERIMETER OF ANY BLOCK OUT IN PAVEMENT AND SAWED DUMMY JOINTS EVERY 12' IN BOTH DIRECTIONS.
11. ALL JOINTS ARE TO CONTINUE THROUGH THE CURB.
12. RADIAL JOINTS SHALL BE NO SHORTER THAN 24".
13. ALL CONSTRUCTION JOINTS SHALL BE SAWED, CLEANED OF DEBRIS, BLOWN DRY AND IMMEDIATELY SEALED WITH HOT POURED RUBBER JOINT SEALING COMPOUND.

WATER NOTES

1. EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE DEVELOPER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.
2. THE CONTRACTOR IS TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. HORIZONTAL AND VERTICAL BLOCKING FOR WATER LINES HAS BEEN OMITTED FOR CLARITY. HOWEVER, BLOCKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
4. TRENCHES WHICH LAY OUTSIDE EXISTING OR FUTURE PAVEMENTS SHALL BE BACK FILLED ABOVE THE TOP OF THE EMBEDMENT WITH TYPE 'C' BACKFILL MATERIALS. WHEN TYPE 'C' BACKFILL MATERIAL IS NOT SUITABLE AND AT THE DIRECTION OF THE ENGINEER TYPE 'B' MATERIAL SHALL BE USED. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% PROCTOR DENSITY BY MEANS OF TAMPING ONLY. TRENCHES WHICH CROSS UNDER EXISTING OR FUTURE PAVEMENT SHALL BE BACK FILLED PER FIGURE 'A' WITH 95% PROCTOR STANDARD DENSITY OF -2, +4 OF OPTIMUM MOISTURE CONTENT.
5. TOP OF WATER LINES SHALL BE A MINIMUM OF 42" BELOW TOP OF CURB EXCEPT WHERE SHOWN OTHERWISE IN THESE PLANS.
6. FIRE HYDRANTS SHALL BE A MINIMUM 3' BEHIND THE FACE OF THE CURB UNLESS OTHERWISE DIRECTED BY THE CITY. FIRE HYDRANTS AND VALVES AS SHOWN ON THESE PLANS ARE SYMBOLIC ONLY.
7. CORPORATION STOPS SHALL BE TESTED FOR FULL FLOW WHEN THE SYSTEM IS PRESSURE TESTED.
8. ALL NEW WATER MAINS SHALL BE FULLY PURGED.
9. ALL 6", 8", 10" & 12" WATER MAINS SHALL BE PVC AWWA C900, DR-14. ALL WATER MAINS USING POLY-WRAPPED DUCTILE IRON PIPE SHALL BE CLASS 51.
10. FITTINGS SHALL BE DUCTILE IRON AND MECHANICAL JOINT TYPE, WITH "COR-BLUE" BOLTS AND SHALL BE CLASS 250.

TRAFFIC CONTROL NOTES

1. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS TO THE OWNER, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY.
2. ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), LATEST VERSION.
3. THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF THESE TRAFFIC CONTROL PLANS TO AVOID CONFUSION TO THE TRAVELING PUBLIC.
4. THE CONTRACTOR SHALL UNCOVER EXISTING SIGNS AND REPLACE PAVEMENT MARKINGS IN-KIND AS ORIGINALLY CONFIGURED AT THE END OF CONSTRUCTION OPERATIONS AND PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
5. ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL TRAFFIC CONTROL MEASURES REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. THE CONTRACTOR SHALL USE SEDIMENT FILTERS OR OTHER MEASURES APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM CLOGGING STORM SEWER PIPES OR PROPOSED OR EXISTING INLETS, OR FROM BEING TRANSPORTED TO ADJACENT PROPERTIES AND STREET RIGHT-OF-WAYS. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND PERMANENT SOIL STABILIZATION IS ACHIEVED.
2. CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH EXISTING TOPSOIL AND VEGETATION.
3. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL THEN BE SEEDED (OR SODDED), IRRIGATED, AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. UNLESS OTHERWISE NOTED, PRIVATE LAWN AREAS AND PARKWAYS IN FRONT OF PRIVATE LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPLACED WITH BLOCK SOD SIMILAR TO THAT EXISTING.
4. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED ENTRANCE AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE.
5. CONSTRUCTION ENTRANCE:
 - MINIMUM SIZE STONE: 5-INCHES DIAMETER
 - THICKNESS: NOT LESS THAN 8-INCHES
 - LENGTH: AS SHOWN ON PLAN
 - WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS.
 - MAINTENANCE REQUIREMENTS: AS NECESSARY TO PREVENT TRACKING OR FLOWING MUD INTO PUBLIC RIGHT-OF-WAY OR PARKING AREAS.
6. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY SHALL BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
7. CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT IN ANY EROSION CONTROL DEVICE SHALL BE REMOVED AND SHALL BE DISTRIBUTED ON SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH IS DISTURBED.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE FILTER BARRIER (OR OTHER METHOD APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT ADVERSE OFF SITE IMPACTS OR STORM WATER QUALITY FROM SILT AND CONSTRUCTION DEBRIS FLOWING ONTO ADJACENT PROPERTIES AS REQUIRED BY THE CITY.
9. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROTECT AND PRESERVE CONTROL POINTS AT ALL TIMES DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
10. CONTRACTOR STAGING AREA TO BE AGREED UPON BY OWNER PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY THE T.C.E.Q. OR THE GOVERNING CITY.

GRADING NOTES

1. IF A GRADING PERMIT IS REQUIRED FROM THE CITY PRIOR TO STARTING CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT AND PAYING ALL ASSOCIATED FEES.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
3. ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE EXISTING AND PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
5. THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
6. ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF BY THE CONTRACTOR, OFFSITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER.
7. ALL CLEARING, GRADING, COMPACTION AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE TO THE GEOTECHNICAL REPORT.
8. GRADING CONTRACTOR TO COORDINATE WITH THE FRANCHISE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
9. THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND USE TO DETERMINE HIS BID ACCORDINGLY.
10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUTES (PER A.D.A. & T.A.S.) EXIST TO AND FROM EVERY DOOR. IN NO CASE SHALL HANDICAP RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. AND T.A.S. COMPLIANCE ISSUES.



PRELIMINARY

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Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date: 3/8/2021

HILEY MAZDA OF HURST
625 NE LOOP 820,
HURST, TEXAS 76053

No.	DATE	REVISION	BY

GENERAL NOTES

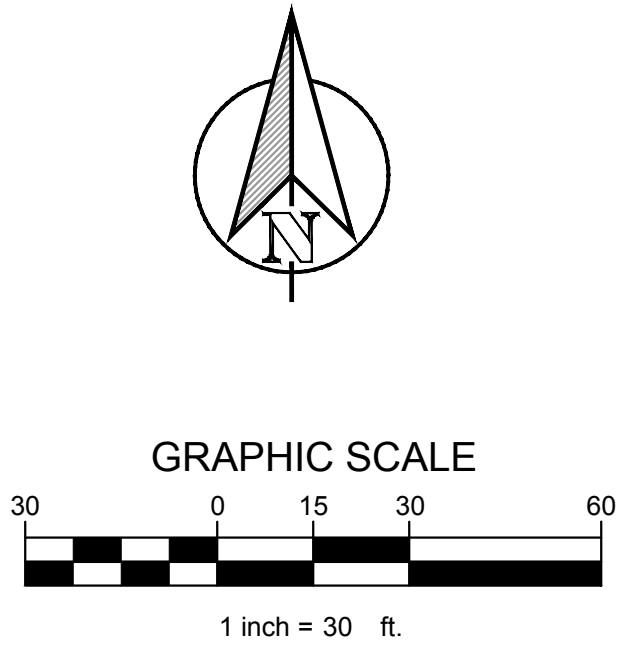
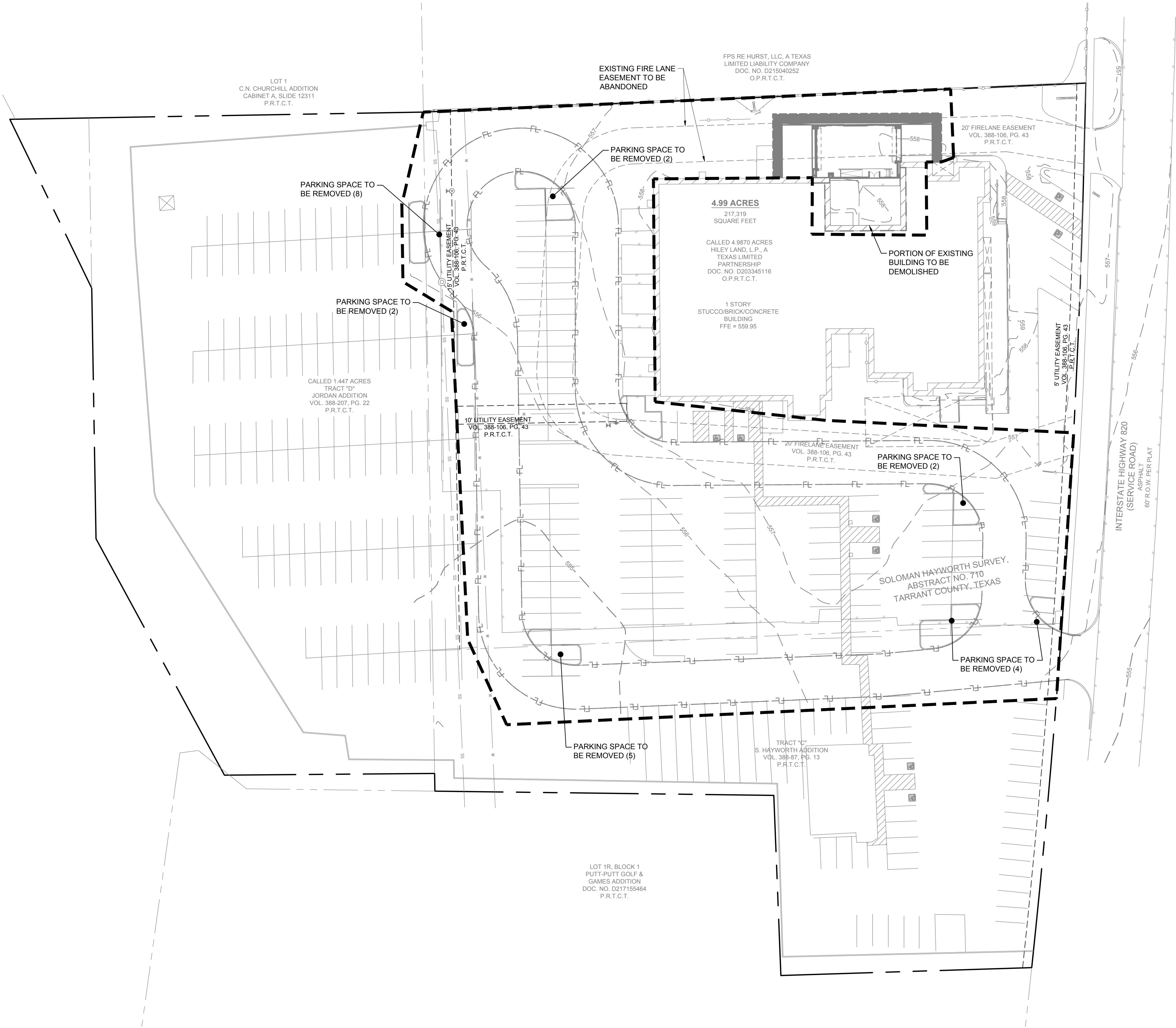
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File No. 2016-XXX

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LEGEND	
	DIRECTION OF FLOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF CONSTRUCTION

ACREAGE SUMMARY	
ON-SITE DISTURBED AREA	1.95 AC
OFF-SITE DISTURBED AREA	0.00 AC
TOTAL DISTURBED AREA	1.95 AC



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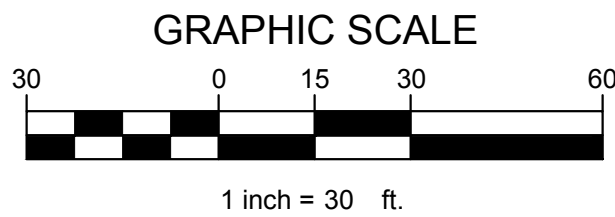
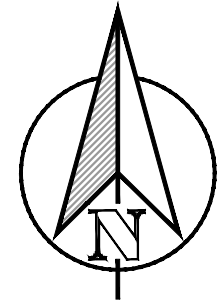
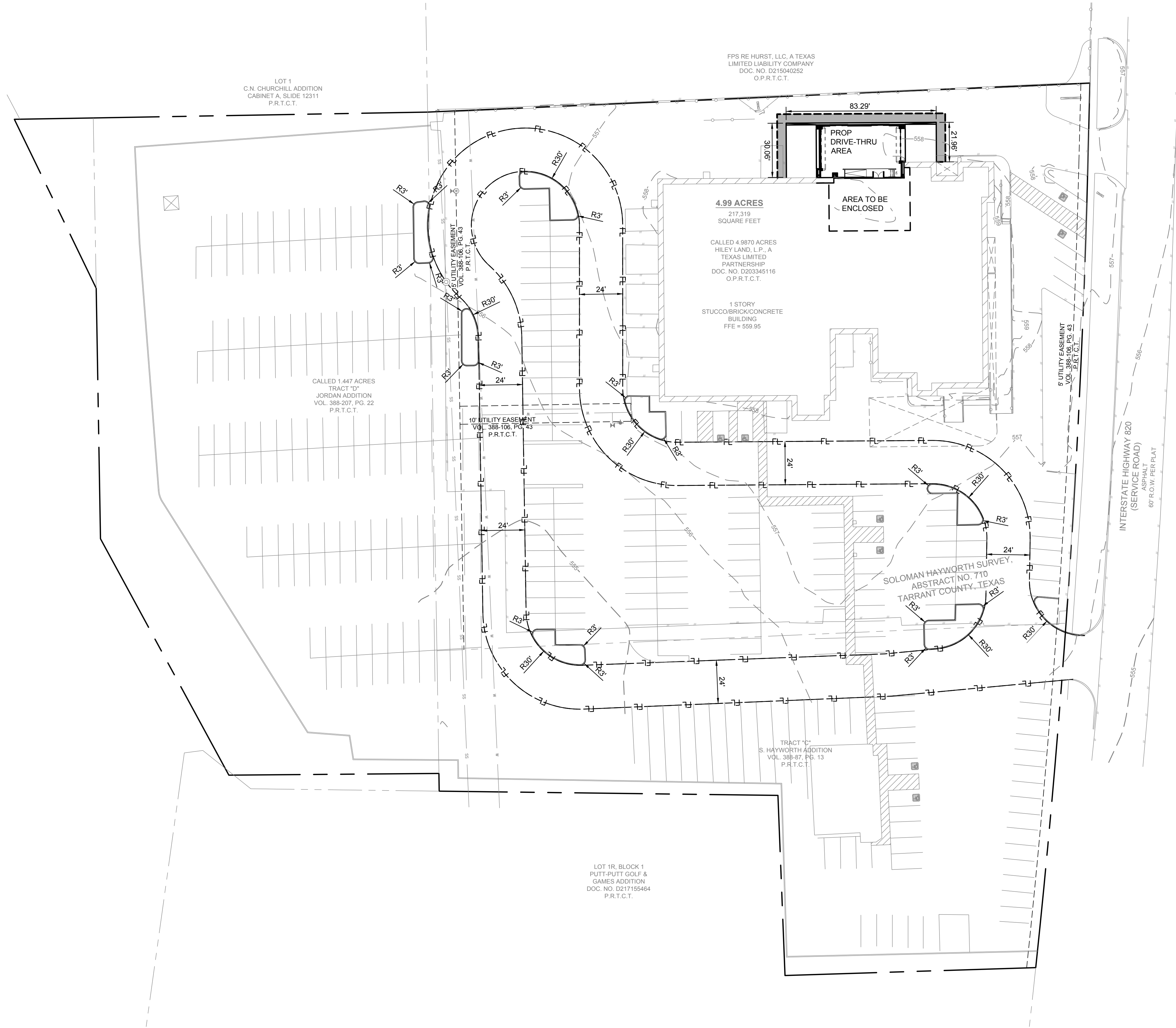
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625 NE LOOP 820,
HURST, TEXAS 76053

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EROSION CONTROL PLAN

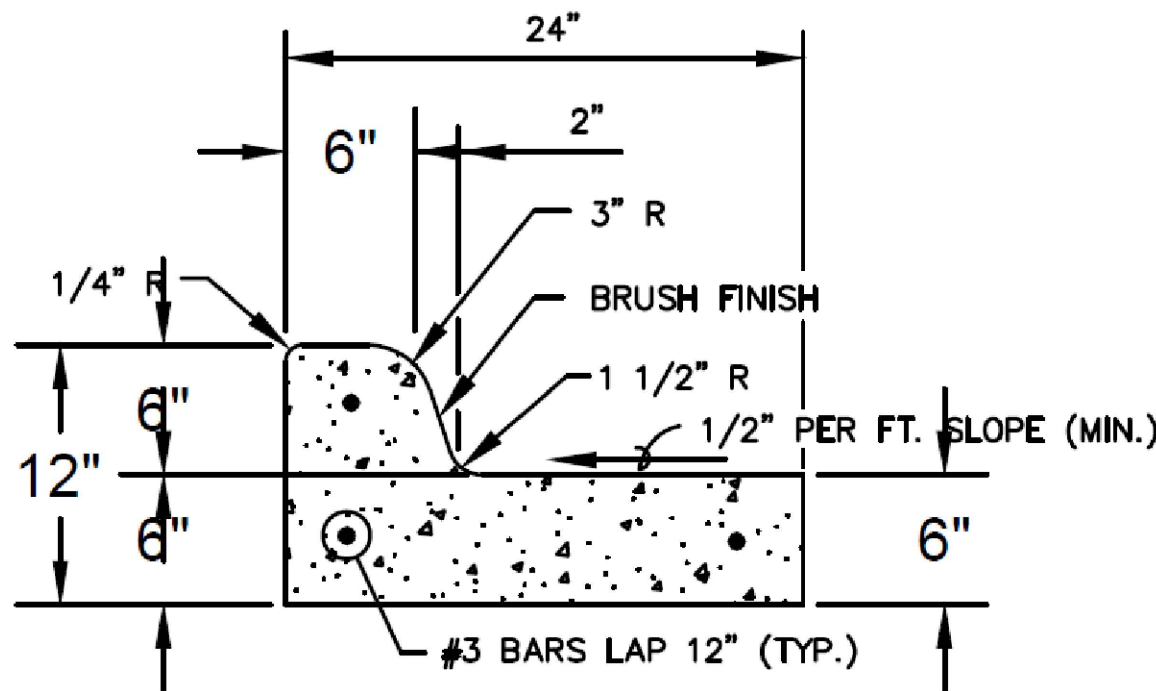
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LEGEND	
	MEDIUM TRAFFIC CONCRETE PAVEMENT PER CITY OF MESQUITE STANDARD DETAILS
	PROPOSED CONCRETE CURB AND GUTTER.
	PROPOSED SAW CUT
	FIRE LANE
	PROPERTY LINE
	PARKING COUNT

NOTE:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



NOTE:
1/2" EXPANSION JOINTS AT 40' INTERVALS FOR FORMED CONCRETE CURB & GUTTER AND/OR 200' INTERVALS FOR MACHINE PLACED MONOLITHIC CONCRETE CURB & GUTTER.

CONCRETE CURB AND GUTTER



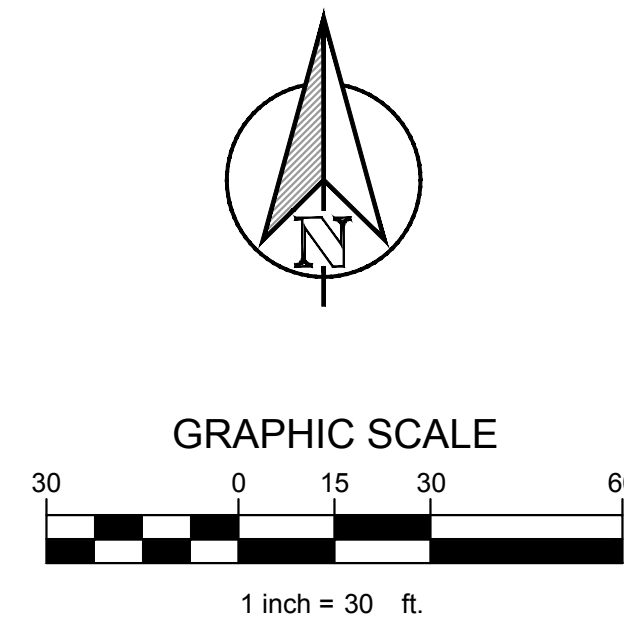
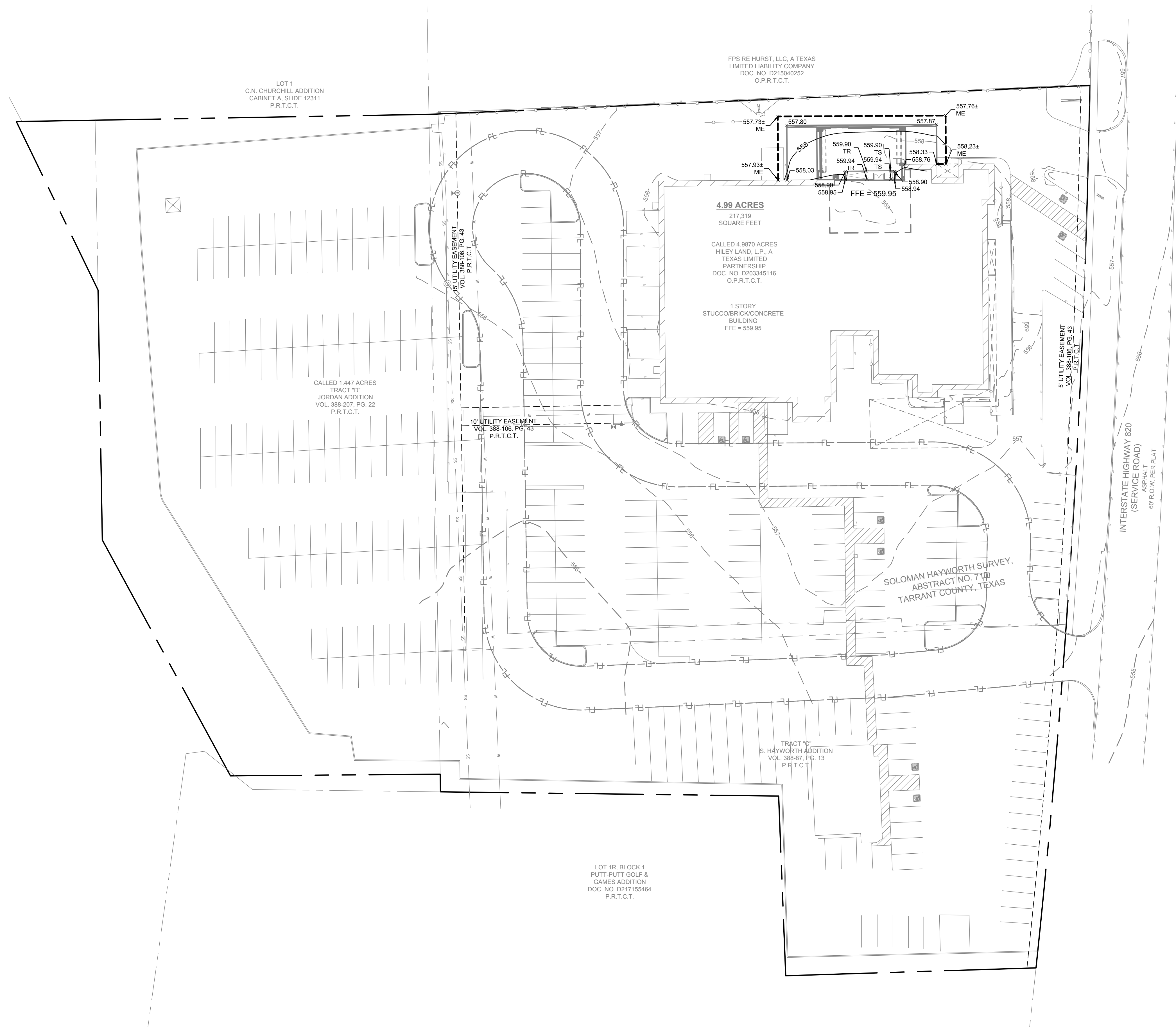
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CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date: 3/8/2021

HILEY MAZDA OF HURST
625 NE LOOP 820,
HURST, TEXAS 76053

No.	DATE	REVISION	BY

DIMENSION CONTROL & PAVING
PLAN

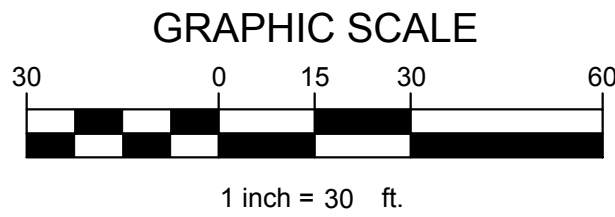
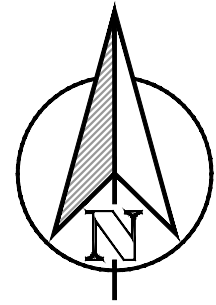
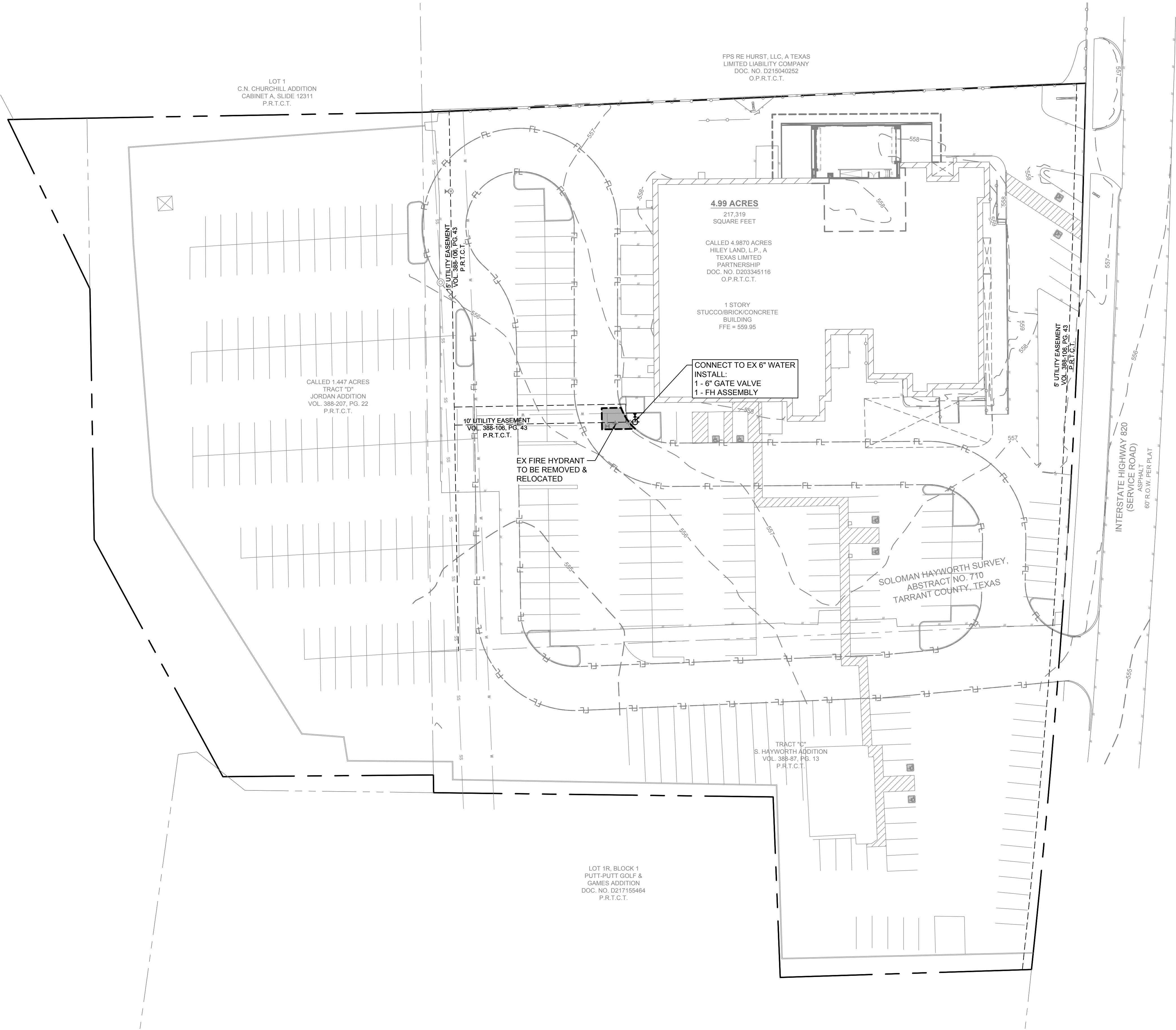
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LEGEND	
— 695 —	EXISTING CONTOUR
— 700 —	PROPOSED CONTOUR
×699.50	PROPOSED GRADE (TOP OF PAVEMENT)
ME	MATCH EXISTING
TR	TOP OF RAMP
TS	TOP OF STEP
-----	FULL DEPTH SAWCUT

- NOTES:**
1. ALL SPOT ELEVATIONS ARE TO TOP OF PAVING UNLESS OTHERWISE NOTED.
 2. EXISTING UTILITIES WERE OBTAINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER FOR ANY DISCREPANCIES WITH THIS PLAN.
 3. MAXIMUM SLOPE IN LANDSCAPE AREAS ARE NOT TO EXCEED 4:1. MIN. EARTH GRADE IS 1% MIN. PAVING GRADE IS 0.5%.
 4. ALL CURB HEIGHTS ARE 6-INCHES UNLESS NOTED OTHERWISE.
 5. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
 6. REF. STRUCTURAL PLANS, SPECIFICATIONS, AND GEOTECHNICAL REPORT FOR ALL BUILDING PAD PREPARATION CRITERIA.
- THE CONTRACTOR SHALL CONSTRUCT ALL BARRIER FREE CURBS, C/WALKS, SIDEWALKS, AND ADA STANDARDS.
8. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT.
- CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
9. GRADING OF ALL HANDICAPPED SPACES AND ROUTES IS TO CONFORM TO LOCAL, STATE, AND FEDERAL GUIDELINES.
 10. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
 11. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM EXISTING & PROPOSED BUILDINGS.

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LEGEND	
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED WATER LINE
	PROPOSED SAWCUT CONCRETE TO BE REMOVED AND REPLACED

NOTES

- CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY COMPANIES AND IRRIGATION PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.

FRANCHISE UTILITY NOTES:

- THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE FRANCHISE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE FRANCHISE UTILITY CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
- THE FRANCHISE UTILITY CONTRACTOR SHALL CONTACT THE RESPECTIVE FRANCHISE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. FRANCHISE UTILITY CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER FRANCHISE UTILITY COMPANIES.
- THE FRANCHISE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE FRANCHISE UTILITY CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR FRANCHISE UTILITY CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
- CONTRACTOR SHALL VERIFY THAT METER AND TRANSFORMER LOCATIONS SHOWN MEET DESIGN CRITERIA BY FRANCHISE UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.



PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date: 3/8/2021

HILEY MAZDA OF HURST
625 NE LOOP 820,
HURST, TEXAS 76053

No.	DATE	REVISION	BY

UTILITY PLAN

DESIGN: MAM
DRAWN: MAM
CHECKED: MAM
DATE: 01/10/2020

SHEET

C-5

File No. 2016-XXX



CONCRETE ENCASEMENT
FOR WATER MAIN LOWER



NOTE:
ALL BOLTS SHALL BE COR-TEN BOLTS AND SHALL MEET
REQUIREMENTS OF A.N.S.I. SPECIFICATIONS B16.1.

- GENERAL NOTES:**
1. CLASS "C" (3,600 PSI @ 28 DAYS) CONCRETE QUANTITIES AT EACH LOCATION AS DESIGNATED ON THE DRAWINGS OR AS DETERMINED FROM BLOCKING DETAILS AND TABLES ON SHEET W-3 OF 5.
 2. SEE SHEET 2 OF 5 STANDARD NOTE 4 FOR APPROVED FIRE HYDRANT TYPES AND ADDITIONAL SPECIFICATIONS. TRENCH SAFETY PLAN.
 3. FIRE HYDRANT SHALL BE PAINTED ALUMINUM (GUDDEN NO. 592) OR APPROVED EQUAL.
 4. ALL BENDS AND TEES REQUIRE A MEGA-LUG STYLE LOCKING GLAND.
 5. WHEN THE TRENCH OR EXCAVATION EXCEEDS 5 FEET IN DEPTH, THE CONTRACTOR SHALL MEET OR EXCEED THE O.S.H.A. STANDARD PLAN FOR TRENCH SAFETY.



DETAIL 'E

- NOTES:**
1. MINIMUM OF FOUR (4) BOLLARDS REQUIRED TO BE PLACED ON 4' CENTERS.
 2. NO BOLLARDS DIRECTLY IN FRONT OF HOSE CONNECTION.
 3. TOP OF BOLLARDS EQUAL WITH EACH OTHER (36" MIN. TO 42" MAX. HEIGHT) MINIMUM DEPTH BELOW THE FINISH GRADE WILL BE 24".
 4. PIPE DIAMETER WILL BE 4" MIN. AND 8" MAX.
 5. BOLLARDS TO BE CONCRETE FILLED AND PAINTED YELLOW.

FIRE HYDRANT BOLLARD REQUIREMENTS

WATER LINE DETAILS						
SMALL SERVICE TAP, HYDRANT AND ENCASEMENT						
 PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION 1505 PRECINCT LINE ROAD HURST, TEXAS 76054 817-788-7076						
DESIGN	DRAWN	CHECKED	DATE	SCALE	REVISED	SHEET NO.
HURST	D.H.	G.D.	JAN. 1998	N.T.S.	JAN. 2017	W-1

CITY STANDARD DETAILS

DESIGN:	MAM
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DATE:	01/10/2020
SHEET	
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File No.	2016-XXX

LANDSCAPE CALCULATIONS

FRONTAGE TREES

EXISTING TO REMAIN

REAR YARD TREES

EXISTING TO REMAIN

INTERIOR TREES

TREES REQUIRED IN PARKING AREAS: 8 TREES (1 LARGE TREE PER ISLAND)
TREES PROVIDED IN PARKING AREAS: ALL SPACES WITHIN 100' OF A TREE
13 TREES

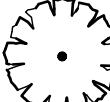
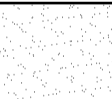
IRRIGATION CONCEPT

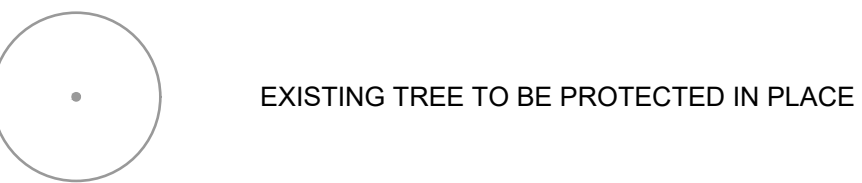
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

GENERAL GRADING AND PLANTING NOTES

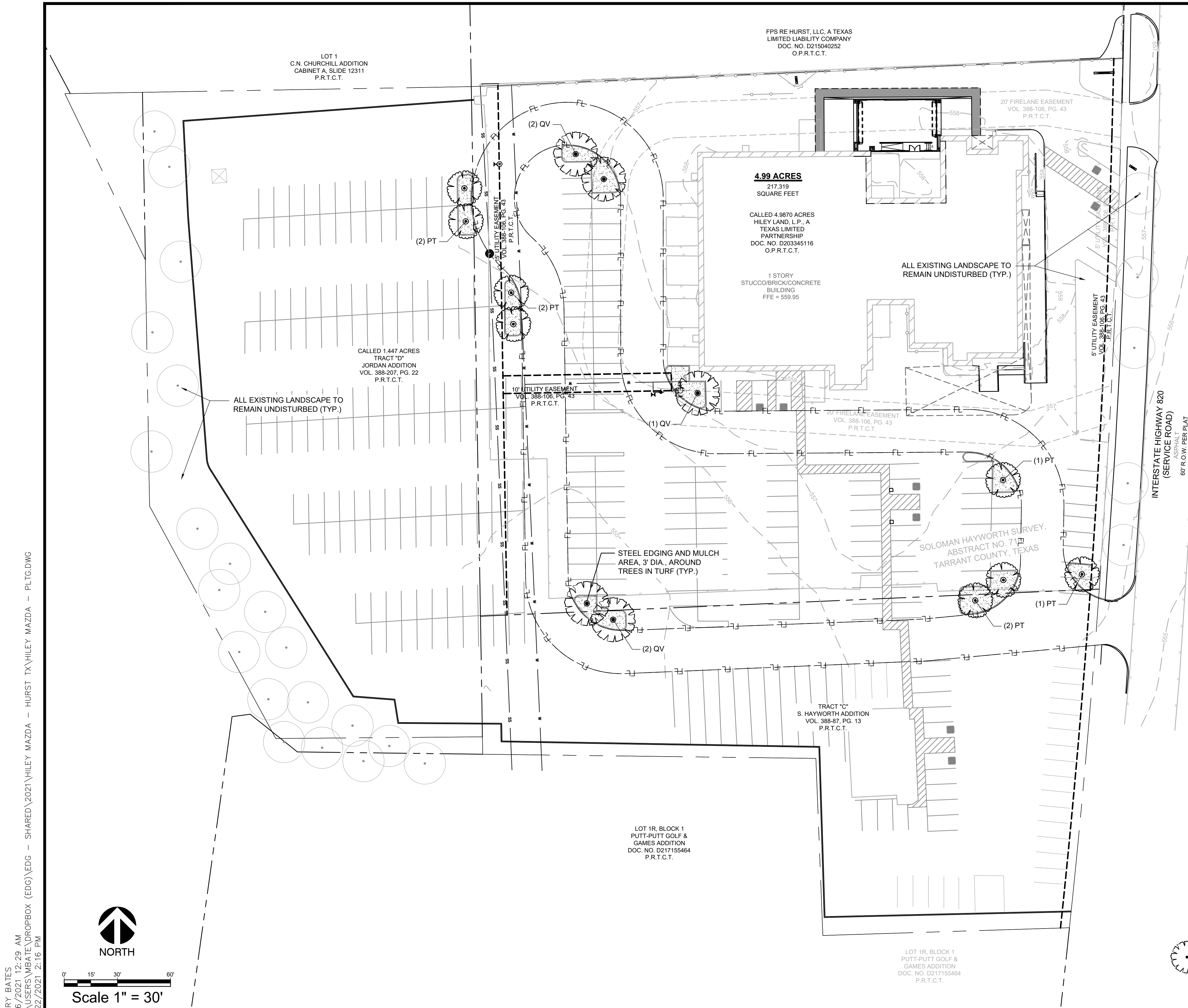
- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN $\pm 0.1'$ OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNERS REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	PT	8	PISTACIA TEXANA TEXAS PISTACHE	CONT.	2" CAL.	8' HT MIN
	QV	5	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	CONT.	2" CAL.	8' HT MIN
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
	SOD	2,229 SF	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS SOD	SOD		



NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.



ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

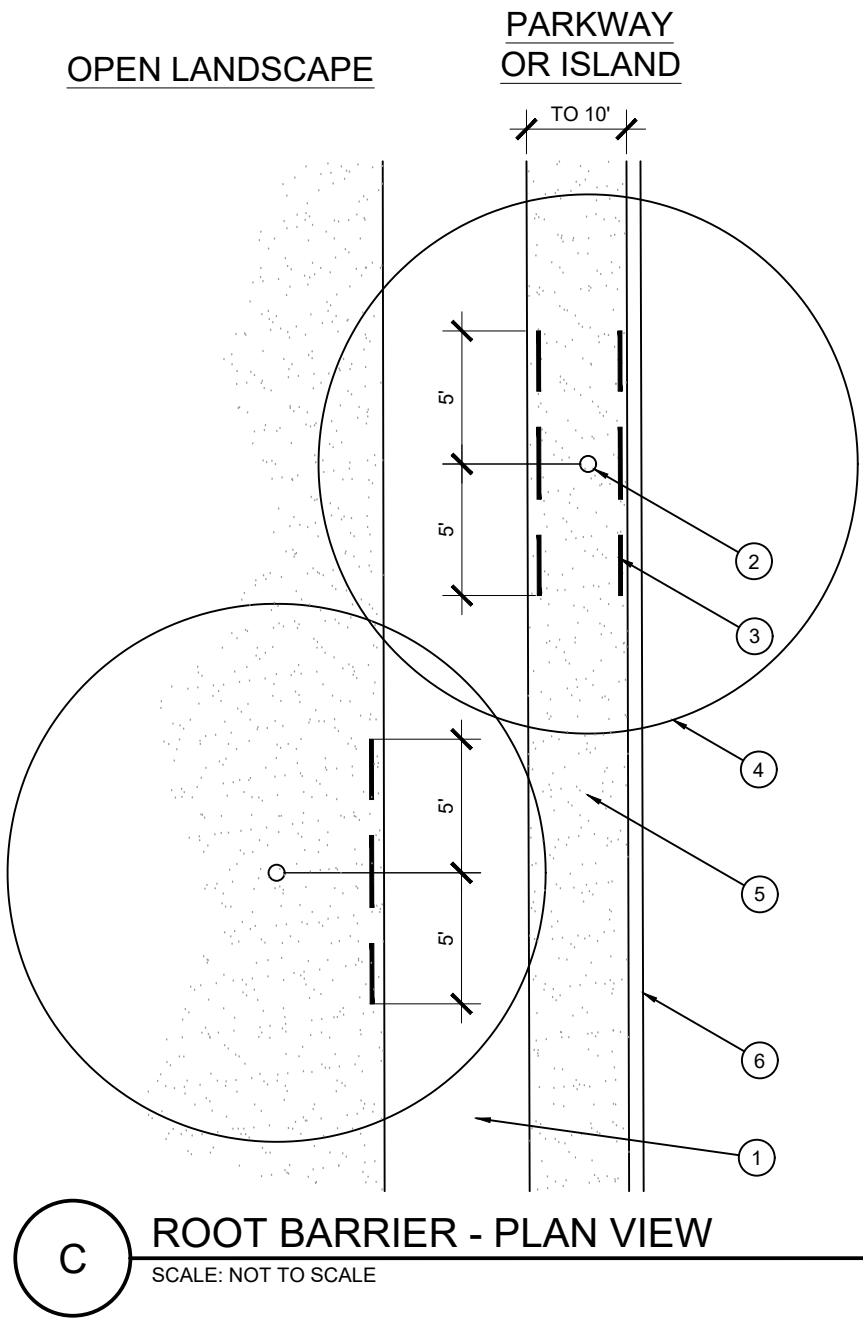
PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SURSCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD. PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DISCIS/EMS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING
1. STAKES: 6" LONG GREEN METAL T-POSTS.
 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX, RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL-RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - iv. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

OPEN LANDSCAPE



- 1 TYPICAL WALKWAY OR PAVING
- 2 TREE TRUNK
- 3 LINEAR ROOT BARRIER MATERIAL - SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 4 TREE CANOPY
- 5 TYPICAL PLANTING AREA
- 6 TYPICAL CURB AND GUTTER

NOTES:

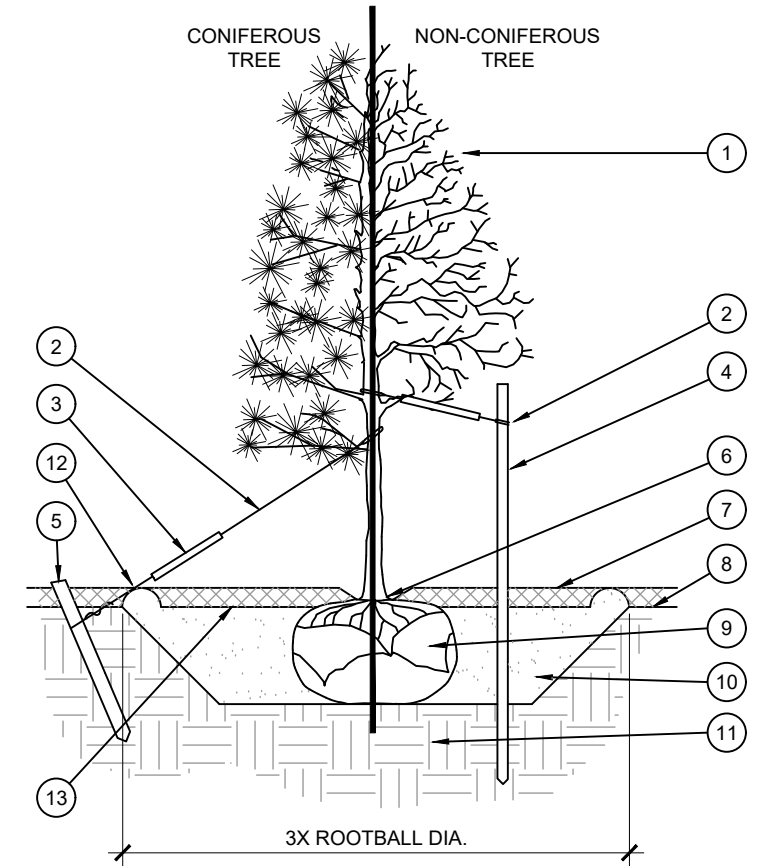
1. INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.
2. PREVIOUS WINDS

ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE

PARKWAY OR ISLAND

TO 10'

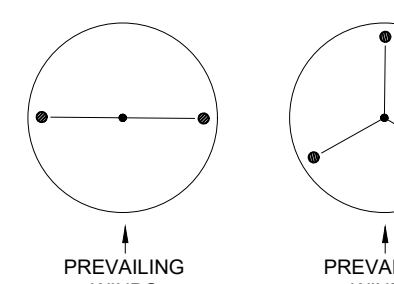


- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

NOTES:

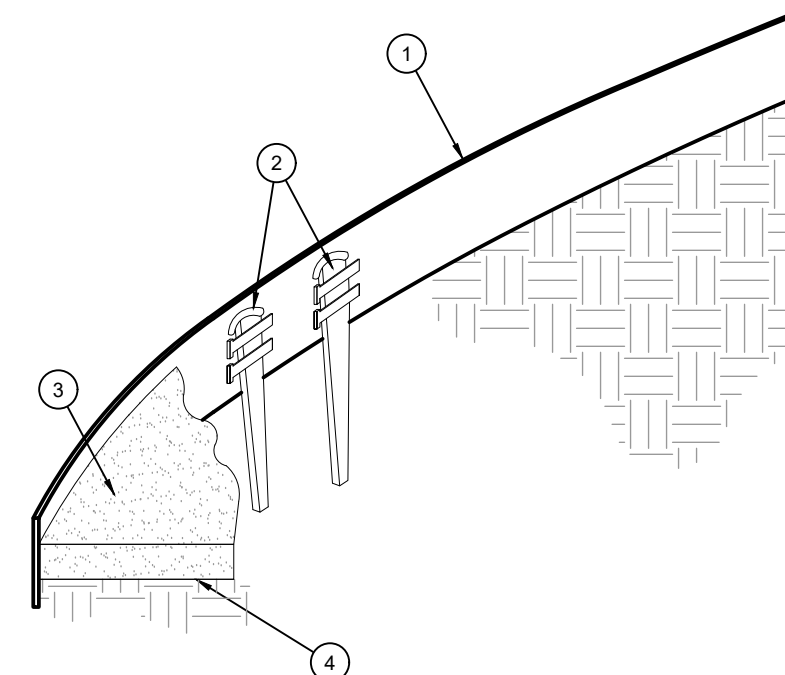
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

STAKING EXAMPLES (PLAN VIEW)



TREE PLANTING

SCALE: NOT TO SCALE



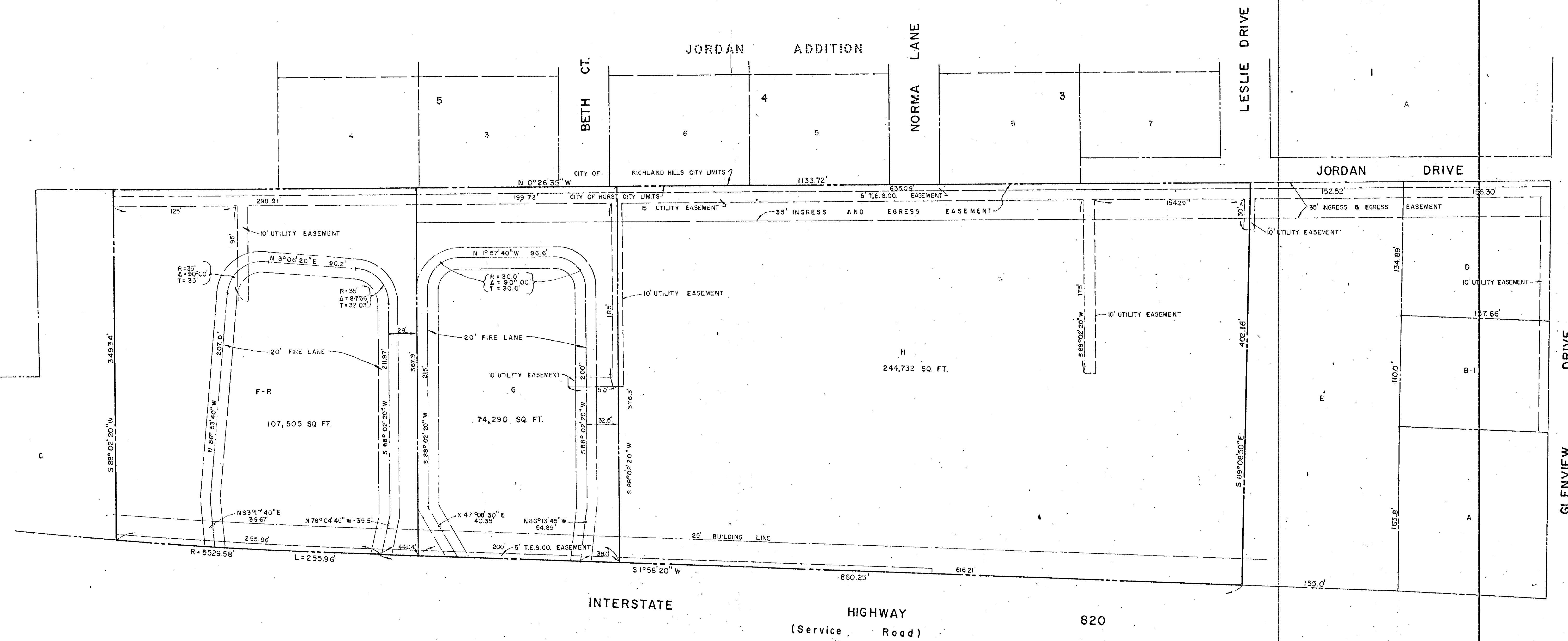
- 1 ROLLED-TOP STEEL EDGING PER PLANS.
- 2 TAPERED STEEL STAKES.
- 3 MULCH, TYPE AND DEPTH PER PLANS.
- 4 FINISH GRADE.

NOTES:

1. INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

STEEL EDGING

SCALE: NOT TO SCALE

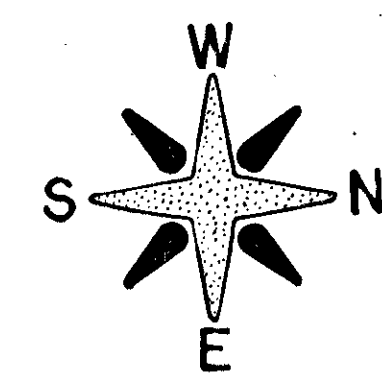


OWNER
J. O. MORROW, Trustee
820 N. E. BLDG.
231 LOOP 820
HURST, TEXAS 76053

ENGINEER
OWEN D. LONG
Consulting Engineer
1615 PRECINCT LINE ROAD, SUITE 106
HURST, TEXAS 76053
261-8121

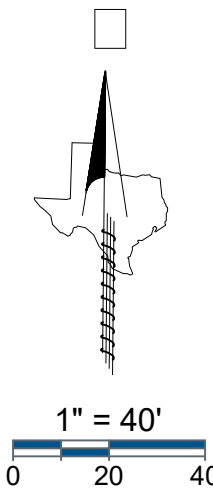
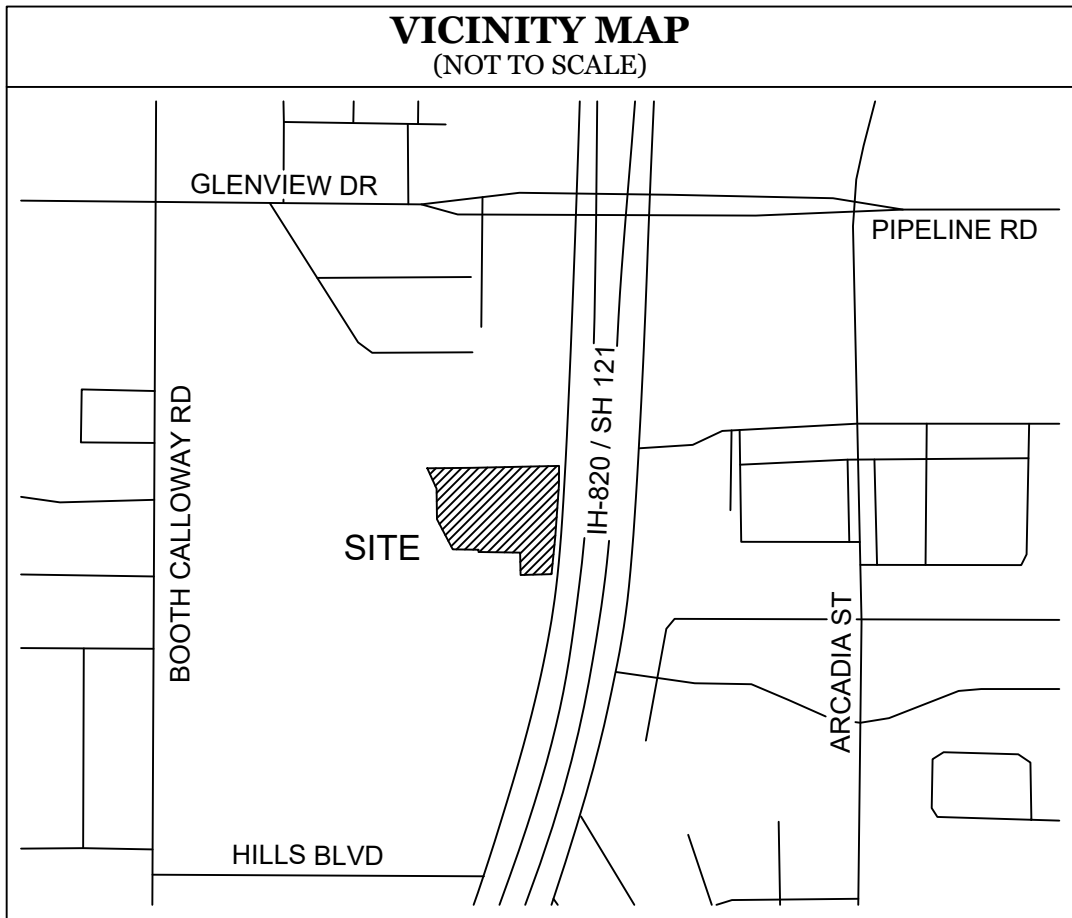
SURVEYOR
SERVITRON, INC.
P.O. BOX 876
HURST, TEXAS 76053
268-2211

PLAT SHOWING
TRACTS F-R, G, & H
BEING
A REVISION OF TRACT F
S. HAYWORTH ADDITION
OUT OF THE
S. HAYWORTH SURVEY
ABSTRACT 710
AN ADDITION TO THE
CITY OF HURST, TARRANT COUNTY,
TEXAS



CITY OF HURST, TEXAS			
S. HAYWORTH ADDITION			
		PLAT	
Job No.	130	Date	Feb., 1976
Drawn by	C.F.S.	Checked by	O.D.L.
Scale	1" = 50'		
1615		OWEN D. LONG Consulting Engineer PRECINCT LINE ROAD, SUITE 106 HURST, TEXAS 76053	
Sheet		3 of 7	Sheets

4-14-5



- GENERAL NOTES**
- 1.) The purpose of this plat is to abandon Fire Lane Easement(s) and combine existing lots.
 - 2.) This property is located in "Floodway", "Zone AE", "Shaded Zone X" and "Non-shaded Zone X" according to the F.E.M.A. Flood Insurance Rate Map dated March 21, 2019 as shown on Map Number 48439C0205L.
 - 3.) The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTK Network, North American Datum of 1983 (Adjustment Realization 2011).
 - 4.) Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
 - 5.) All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
 - 6.) The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTK Network, North American Datum of 1983 (Adjustment Realization 2011).

- LEGEND**
- PG = PAGE
VOL = VOLUME
POB = POINT OF BEGINNING
IRF = IRON ROD FOUND
CIRF = CAPPED IRON ROD FOUND
CIRS = CAPPED IRON ROD SET
DOC. NO. = DOCUMENT NUMBER
P.R.T.C.T. = PLAT RECORDS,
TARRANT COUNTY, TEXAS
O.P.R.T.C.T. = OFFICIAL PUBLIC RECORDS,
TARRANT COUNTY, TEXAS

SURVEYOR
Eagle Surveying, LLC
Contact: Tyler Rank
210 S. Elm Street, Suite: 104
Denton, TX 76201
(940) 222-3009

ENGINEER
Claymoore Engineering
Contact: Matt Moore
1903 Central Dr, # 406
Bedford, TX 76021
(817) 281-0572

OWNER
Hiley Land, LP
625 NE Loop 820
Hurst, TX 76053

Project	2010.052-02	 EAGLE SURVEYING, LLC 210 S. Elm Street, Suite: 104 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	01/22/2021	
Drafter	TAR	

CERTIFICATE OF APPROVAL ☐ RICHLAND HILLS	
This plat has been submitted to and considered by the PLANNING AND ZONING COMMISSION of the City of Richland Hills, Texas, and is hereby approved by such Commission.	The City Council of Richland Hills, Texas, on _____, 2021 voted affirmatively to adopt this plat and approve it for filing of record.
Date this ____ day of _____, 2021	
Chairman	Mayor
Attest: Secretary, Planning and Zoning Commission	Attest: City Secretary

CERTIFICATE OF APPROVAL ☐ HURST	
WHEREAS , the Planning and Zoning Commission of the City of Hurst, Texas voted affirmatively on this ____ day of _____, 2021 to approve this final plat.	WHEREAS , the City Council of the City of Hurst, Texas voted affirmatively on this ____ day of _____, 2021 to approve this plat for filing of record.
Chairman, Planning and Zoning Commission	Mayor, City of Hurst
Attest: Secretary, Planning and Zoning Commission	Attest: City Secretary

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, **HILEY LAND, LP** is the owner of a 4.99 acre tract of land out of the Solomon Hayworth Survey, Abstract Number 710 situated in the City of Hurst and the City of Richland Hills, Tarrant County, Texas, being all of a called 4.9870 acre tract of land conveyed to Hiley Land, LP by special warranty deed with vendors lien of record in Document Number D203345116 of the Official Public Records of Tarrant County, Texas, also being all of Tract "F-R" of S. Hayworth Addition, a subdivision of record in Volume 388-106, Page 43 of the Plat Records of Tarrant County, Texas, also being Tract "C" of S. Hayworth Addition, a subdivision of record in Volume 388-87, Page 13 of said Plat Records, and also being Tract "D" of Jordan Addition, a subdivision of record in Volume 388-207, Page 22 of said Plat Records, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 3/4" iron rod found in the West Right-of-Way line of Interstate Highway 820 (IH-820), being the Southeast corner of Tract "G" of S. Hayworth Addition, a subdivision of record in Volume 388-106, Page 43 of said Plat Records, also being the common Northeast corner of said Tract "F-R" and also being the common Northeast corner of said 4.9870 acre tract;

THENCE, along the West Right-of-Way line of said IH-820, being the East line of said 4.9870 acre tract, also being in part the common East line of said Tract "F-R", and also being in part the East line of said Tract "C" the following two courses and distances:

1. S01°25'17"W, a distance of 44.01 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
2. along said non-tangent curve to the right, having a radius of 5529.58 feet, a chord bearing of S03°42'33"W, a chord length of 447.65 feet, a delta angle of 04°38'23", an arc length of 447.77 feet to an "X" cut found at the Northeast corner of Lot 1R, Block 1 of Putt-Putt Golf & Games Addition, a subdivision of record in Document Number D217155464 of said Plat Records, also being the common Southeast corner of said Tract "C" and the common Southeast corner of said 4.9870 acre tract;

THENCE, along the North line of said Lot 1R, also being the common South line of said Tract "C" and the common South line of said 4.9870 acre tract, the following 3 courses and distances:

1. S88°11'50"W, a distance of 139.20 feet to a "V" cut found;
2. N02°15'05"W, a distance of 100.00 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
3. N89°17'02"W, a distance of 188.01 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southwest corner of said Tract "C";

THENCE, N00°58'47"W, along the South line of said 4.9870 acre tract and the Common West line of said Tract "C", a distance of 9.82 feet to a 1/2" iron rod with yellow plastic cap (illegible) found at the Southeast corner of said Tract "D";

THENCE, S89°32'13"W, along the South line of said Tract "D" and the common South line of said 4.9870 acre tract, a distance of 116.58 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southwest corner of said Tract "D", also being the common Southwest corner of said 4.9870 acre tract;

THENCE, N28°30'47"W, along the West line of said Tract "D" and the common West line of said 4.9870 acre tract, a distance of 149.23 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;

THENCE, N00°58'47"W, along the West line of said Tract "D" and the common West line of said 4.9870 acre tract, a distance of 138.99 feet to a along the West line of said Tract "D", also being the common West line of said 4.9870 acre tract;

THENCE, N25°51'01"W, along the West line of said 4.9870 acre tract, a distance of 104.16 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southwest corner of Lot of C.N. Churchill Addition, a subdivision of record in Cabinet A, Slide 12311 of said Plat Records, also being the Northwest corner of said 4.9870 acre tract;

THENCE, N89°00'58"E, along the South line of said Lot 1 of C.N. Churchill Addition, also being the common North line of said 4.9870 acre tract, a distance of 43.80 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;

THENCE, N88°59'59"E, along the South line of said Lot 1 of C.N. Churchill Addition, also being the common North line of said 4.9870 acre tract, a distance of 185.55 feet to a 1/2" iron rod found at the Southeast corner of said Lot 1 of C.N. Churchill Addition and the common Southwest corner of said Tract "G";

THENCE, N87°29'17"E, along the South line of said Tract "G", also being the common North line of said 4.9870 acre tract, a distance of 367.90 feet to the **POINT OF BEGINNING** and containing an area of 4.99 Acres (or 217,319 Square Feet) of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **HILEY LAND, LP**, does hereby adopt this plat designating the herein described real property as the herein stated **HILEY MAZDA ADDITION**, an addition to the City of Hurst and the City of Richland Hills, Tarrant County, Texas and does hereby dedicate to the public's use the easements and right-of-ways shown hereon.

OWNER: **HILEY LAND, LP**

BY: _____ Date _____

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this ____ day of _____, 2021.

Notary Public in and for the State of Texas

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF DENTON §

I, **MATTHEW RAABE**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Hurst and the City of Richland Hills, Tarrant County, Texas.

PRELIMINARY
this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

Matthew Raabe, R.P.L.S. # 6402 Date _____

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this ____ day of _____, 2021.

Notary Public in and for the State of Texas

REPLAT
HILEY MAZDA ADDITION
LOT 1, BLOCK 1
4.99 ACRES
BEING A REPLAT OF TRACT F-R OF S. HAYWORTH ADDITION
VOL. 388-106, PG. 43, P.R.T.C.T.
AND TRACT C, S. HAYWORTH ADDITION
VOL. 388-87, PG. 13, P.R.T.C.T.
SOLOMON HAYWORTH SURVEY, ABSTRACT NO. 710,
CITY OF HURST and CITY OF RICHLAND HILLS
TARRANT COUNTY, TEXAS

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Candice Edmondson, City Manager

Date: June 14, 2021

Subject: Amendments to Municipal Fee Schedule

Agenda Item:

Consider Ordinance 1412-20A amending the Municipal Fee Schedule

Background Information:

During a recent review of the Municipal Fee Schedule, staff identified several fee updates that needed to be made. Some of the updates are based on recent ordinances approved by City Council, while others are being recommended for existing city services and programs. The amended FY 2021 Municipal Fee Schedule is attached to this memo with changes highlighted below:

Proposed Fee Schedule Amendments

Chapter 18. Businesses:

- Remove Mobile Units and following fees:
 - Prepackaged Food - \$100
 - Open and/or Food Prep - \$200
 - Push Carts - \$200
- Add Section 18-101 annual permit fee for Mobile Food Vendors - \$40

Chapter 70. Parks and Recreation Areas:

- Increase Resident rental rate from \$25 to \$32 per four-hour rental period
- Add Resident Additional Hours rate - \$6 per hour

- Increase Nonresident rental rate from \$35 to \$40 per four-hour rental period
- Add Nonresident Additional Hours rate - \$8 per hour
- Remove Rental of Public Indoor Facilities – Richland Hills Community Center Building

Chapter 74. Subdivisions:

- Add the following Plat processing fees:
 - Amended Plats - \$350
 - Replats - \$350
 - Vacated Plats - \$350
 - Preliminary Plats - \$250
 - Final Plats - \$350
- Add the following recording fees (per Tarrant County Clerk):
 - 24" x 36" Plats - \$64
 - 18" x 24" Plats - \$49
 - Each additional page (i.e. tax certificates, extra plat page, etc.) - \$4

The Link – Room Rentals:

- Add Link Training Room - \$25

City Facility Rentals:

- Add Administration Building and following fees:
 - Administration Building Offices - \$15
 - Administration Building Conference Rooms - \$35

Community Events:

- Add a Community Event Fee - \$300
- Fee would apply to community events hosted at city facilities and parks or that require city resources (i.e. fun runs, block parties, events held in city parks that limit public access)

Financial Considerations:

Fee schedule amendments would result in an increase in revenue for those service areas where changes have been proposed.

Attachments:

Ordinance No. 1412-20A
FY 2021 Municipal Fee Schedule

Council Action Requested:

Approve Ordinance No. 1412-20A amending the Municipal Fee Schedule

ORDINANCE NO. 1412-20A

**AN ORDINANCE OF THE CITY OF RICHLAND HILLS, TEXAS
REVISING AND UPDATING FEES, AND AMENDING THE FEE
SCHEDULE CONTAINED IN THE CODE OF ORDINANCES, CITY OF
RICHLAND HILLS; PROVIDING THAT THIS ORDINANCE SHALL BE
CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY
CLAUSE; PROVIDING FOR PUBLICATION IN PAMPHLET FORM;
AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, the City of Richland Hills is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, the City Council deems it advisable and necessary to revise the City Code to update the fees in order to recoup costs incurred by the City in performing municipal functions.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY
OF RICHLAND HILLS, TEXAS:**

**SECTION 1.
AMENDMENT OF FEE SCHEDULE**

Appendix A of the Code of Ordinances, City of Richland Hills, is hereby amended in its entirety and replaced with the Municipal Fee Schedule FY 2021 attached hereto as Exhibit A and incorporated herein for all purposes.

**SECTION 2.
PROVISIONS CUMULATIVE**

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of Richland Hills, Texas, as amended, except where the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event the conflicting provisions of such ordinances and such Code are hereby repealed.

**SECTION 3.
PROVISIONS SEVERABLE**

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

**SECTION 4.
PUBLICATION IN BOOK OR PAMPHLET FORM**

The City Secretary of the City of Richland Hills is hereby authorized to publish this Ordinance and the exhibits to this Ordinance in book or pamphlet form for general distribution among the public, and the operative provisions of this Ordinance and the exhibits to this Ordinance as so published shall be admissible in evidence in all courts without further proof than the production thereof.

**SECTION 5.
EFFECTIVE DATE**

This Ordinance shall be in full force and effect from and after its passage and publication as required by law, and it is so ordained.

PASSED AND APPROVED ON THIS 14th DAY OF JUNE, 2021.

THE HONORABLE MAYOR EDWARD LOPEZ

ATTEST:

CATHY BOURG, CITY SECRETARY

APPROVED AS TO FORM AND LEGALITY:

CITY ATTORNEY

City of Richland Hills



Municipal Fee Schedule

FY 2021

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Chapter 2. Administration

Code Section:	Description:	Fee:
2-151	Standard Size Copy Paper (8 1/2" x 14")	\$0.10
	Annual Budget Copies	\$2.50
	Nonstandard Size Paper Copy - Paper Copy Per Page (larger than 8 1/2"x14)	\$0.50
	Compact Disc (CD)	\$1.00
	Digital Video Disc (DVD)	\$3.00

Chapter 6. Animals

Code Section	Description	Fee
6-147	Vaccination fee (per vaccination)	\$25.00
6-148	Registration fees: annual registration for dog or cat not sterilized	\$25.00
	Registration fees: annual registration for dog or cat sterilized	\$10.00
6-166	Guard dog registrations	\$50.00
6-186	Dangerous dog – registration	\$150.00 Annually
	Boarding fee per night	\$10.00
6-187	Quarantine fee for bite animals	\$20.00 Per Night
	Quarantine fee for bite animals: out of jurisdiction	\$25.00 Per Night
Impoundment Fee		
6-218	Class A - Dogs and Cats Altered – First impoundment	\$25.00
	Class A – Dogs and Cats Altered - Second impoundment	\$35.00
	Class A - Dogs and Cats Altered – Third impoundment	\$45.00
	Class A - Dogs and Cats Altered – Fourth impoundment	\$55.00
	Class A - Dogs and Cats Not sterilized – First impoundment	\$45.00
	Class A Dogs and Cats Not sterilized – Second impoundment	\$60.00
	Class A - Dogs and Cats Not sterilized – Third impoundment	\$75.00
	Class A - Dogs and Cats – Not sterilized – Fourth impoundment	\$100.00
	Class B Small Livestock – Any small livestock impounded and held by the city will be subject to the following	
	Class B – Small livestock – First impound in 12 months	\$30.00
	Class B – Small livestock – Second impound in 12 months	\$40.00
	Class B - Small livestock – Third impound in 12 months	\$50.00
	Class B – Small livestock – Fourth impound in 12 months	\$60.00
	The fee of any small livestock impounded and held by any other state, county, municipal or private entity shall be imposed at the discretion of that entity.	
	Class C – Large Livestock – Any large livestock impounded and held by the city will be subject to the following:	
	Class C – Large Livestock – First impound in 12 months	\$30.00
	Class C – Large Livestock – Second impound in 12 months	\$40.00
	Class C – Large Livestock – Third impound in 12 months	\$50.00
	Class C – Large Livestock – Fourth impound in 12 months	\$60.00

Surrender		
	Dogs & Cats Surrender fee	\$25.00
	Livestock Surrender fee	\$75.00
	Rabies Analysis Surrender fee	\$65.00
Adoption		
6-220(b)(4)	Adoption fee for dogs (includes s/n, rabies immunization, dewormer, microchip)	\$100.00
6-220(b)(5)	Adoption fee for cats (includes s/n, rabies immunization, dewormer)	\$80.00
	Veteran, Senior, Active Military	\$0.00
Other		
	Live Traps - Deposit	\$50.00

Chapter 14. Buildings and Building Regulations

Building Permit Fees	
Residential Building Permit	
New Construction/Additions	\$50.00 + \$1.00 per square foot of all floor area of new construction/addition (Includes fees for any mechanical, electrical, and plumbing work associated with construction.)
Remodel/Renovations Any construction or renovation to an existing structure that includes alterations to the plumbing, electrical, mechanical or structural elements of the building	\$25.00 + \$0.80 per square foot of all floor area of remodeled/renovated space (Includes fees for any mechanical, electrical, and plumbing work associated with construction.)
Commercial Building Permit	
Total Valuation of Construction – Shall comply with the provisions set forth in Section 108.3 (Building permit valuations) of the 2012 International Building Code.	
\$1.00 to \$500.00	\$50.00
\$501.00 to \$2,000.00	\$50.00 for the first \$500.00, plus \$4.00 for each additional \$100.00, or fraction thereof, up to and including \$2,000.00
\$2,001.00 to \$25,000.00	\$100.00 for the first \$2,000.00 plus \$18.00 for each additional \$1,000.00, or fraction thereof, up to and including \$25,000.00
\$25,001.00 to \$50,000.00	\$500.00 for the first \$25,000.00 plus \$13.00 for each additional \$1,000.00, or fraction thereof, up to and including \$50,000.00
\$50,001.00 to \$100,000.00	\$900.00 for the first \$50,000.00 plus \$9.00 for each additional \$1,000.00, or fraction thereof, up to and including \$100,000.00
\$100,001.00 to \$500,000.00	\$1,300.00 for the first \$100,000.00 plus \$7.00 for each additional \$1,000.00, or fraction thereof, up to and including \$500,000.00
\$500,001.00 to \$1,000,000.00	\$4,000.00 for the first \$500,000.00 plus \$6.00 for each additional \$1,000.00, or fraction thereof, up to and including \$1,000,000.00
Greater than \$1,000,001.00	\$7,000.00 for the first \$1,000,000.00 plus \$5.00 for each additional \$1,000.00, or fraction thereof

Mechanical, Electrical, and Plumbing Permits	
Contractor Registration	\$100.00 Annually (Plumbing & Electrical Exempt)
Electrical, plumbing, mechanical, and irrigation contractors must present a current TDLR license complying with provisions set forth by Section 14-35	

Commercial Trade Permits	
Total Valuation of Construction – shall comply with the provisions set forth in Section 108.3 (Building permit valuations) of the 2012 International Building Code.	
\$1.00 to \$500.00	\$100.00
\$501.00 to \$2,000.00	\$100.00 for the first \$500.00, plus \$3.00 for each additional \$100.00, or fraction thereof, up to and including \$2,000.00
\$2,001.00 to \$25,000.00	\$200.00 for the first \$2,000.00 plus \$14.00 for each additional \$1,000.00, or fraction thereof, up to and including \$25,000.00
\$25,001.00 to \$50,000.00	\$400.00 for the first \$25,000.00 plus \$10.00 for each additional \$1,000.00, or fraction thereof, up to and including \$50,000.00
\$50,001.00 to \$100,000.00	\$600.00 for the first \$50,000.00 plus \$7.00 for each additional \$1,000.00, or fraction thereof, up to and including \$100,000.00

Residential Trade Permit	
Electrical (Single Trade)	\$100.00
Mechanical (Single Trade)	\$100.00
Plumbing (Single Trade)	\$100.00
Irrigation (Single Trade)	\$100.00

Other Building Permits and Fess	
Accessory Structures	\$50.00 base fee + \$0.25 per square foot
Additional plan review required by changes, additions, or revisions to approved plans	\$60.00 per hour with a minimum of two (2) hours or the total hourly cost to the City of Richland Hills, whichever is greater.
Carport, Canopy, Patio Covers	\$150.00
Certificate of Occupancy	\$100.00
Clean and Show Inspection	\$80.00
Concrete Flatwork (patios, sidewalks, curbs, driveways)	\$50.00
Demolition Permit – Commercial	\$100.00
Demolition Permit – Residential	\$50.00
Driveway Approach	\$50.00
Fence – Commercial	Based on valuation
Fence - Residential	\$25.00
Foundation/Retaining Walls	\$150.00
Garage Sale Permit	\$10.00
Gas Test	\$80.00
Inspections (not otherwise specified)	\$60.00 per hour with a minimum of two (2) hours or the total hourly cost to the City of Richland Hills, whichever is greater.

Inspections (outside of normal business hours)	\$60.00 per hour with a minimum of two (2) hours or the total hourly cost to the City of Richland Hills, whichever is greater.
Irrigation System Plan Review and Inspection	\$80.00
Non-Residential Registration & Inspection – Vacant Building	\$300.00
Parking Lots – New Construction	\$100.00
Parking Lots – Resurface/Overlay	\$50.00
Permit for Tent and Air-Supported Structures: Initial Permit	\$50.00
Permit for Tent and Air-Supported Structures: One-time Renewal	\$40.00
Permits (not otherwise specified)	\$80.00
Plan Review	65% of the building permit fee
Re-Inspection Fees	\$80.00
Residential Registration & Inspection – Vacant Building	\$100.00
Roof - Commercial	Based on valuation
Roof – Residential	\$50.00
Siding	\$150.00
Sign Permit (With Electric)	\$100.00
Sign Permit (Without Electric)	\$50.00
Solar Panels	\$200.00
Stop Work Order Penalty	Double Permit Fees
Swimming Pool (Above-ground)	\$175.00
Swimming Pool (In-ground)	Based on valuation
Swimming Pool, Hot Tub, or Spa Permit to Discharge Water	\$25.00
Swimming Pool/Spa Annual Permit (Commercial Only)	\$100.00
Temporary Certificate of Occupancy	\$50.00
Temporary Electric Release (90 day maximum)	\$80.00
Windows	\$150.00

Chapter 18. Businesses

Food Program Fee Schedule	
Food Store	
≤ 5,000 sqft.	\$200.00
> 5,000 sqft.	\$300.00
Food Service	
≤ 500 sqft.	\$100.00
> 500 ≤ 1,500 sqft.	\$150.00
> 1,500 ≤ 3,000 sqft.	\$200.00
> 3,000 ≤ 6,000 sqft.	\$250.00
> 6,000 sqft.	\$300.00
Child Care Food Service	\$150.00
Catering Operation	\$250.00
Food Court	\$200.00 per establishment
Adjunct Operation	
Food Service	\$150.00 per independent operation
Food Store ≤ 5,000 sq. ft.	\$150.00 per independent operation

Food Store > 5,000 sq. ft.	\$200.00 per independent operation
Commissary	
No Food Prep	\$100.00
With Food Prep	\$200.00
Plan Review	
≤ 500 sq. ft.	\$0.00
> 500 ≤ 3,000 sq. ft.	\$50.00
> 3,000 sq. ft.	\$100.00
Late Fee	
From 1-30 days	10% of the fee owed
From 31-60 days	20% of the fee owed
The late fee increases 10% for each 30-day block until the permit fee and the late fee is paid	
Permits that are more than 90 days overdue will be void and required to reapply	
Reinspection Fee	
Required Re-inspection	\$75.00

Other Business Fees		
Code Section	Description	Amount
18-101	Annual permit fee for Mobile Food Vendors	\$40.00
18-191	Annual permit fee for person, firm, corporation, organization, single agent, employee, or volunteer	\$35.00
	Annual permit for each additional agent, employee or volunteer	\$10.00
	Annual permit fee for person, corporation, firm or organization that sponsors or employs one or more minors as solicitors	\$50.00
18-235	Pawnbroker, Secondhand Dealer, or Junk Dealer License	\$100.00
18-296	Pool Hall License	\$100.00
18-463	Swimming Pool, Spa and/or interactive Water Feature Annual Permit	\$250.00
18-464	Public Pool, Spa, and/or Interactive Water Feature Construction or Remodeling Application (plan review and opening inspection)	\$150.00
18-465	Preoperational Inspection for a Public Pool, Spa and/or Interactive Water Feature (based on the number of filtration systems located at a single address)	\$250.00 each
	Swimming Pool, Spa, and/or Interactive Water Feature Inspection	\$75.00

Chapter 30. Emergency Services

Ambulance fees and charges	
ALS1 Emergency Base Rate	\$1,600.00
ALS1 Non-Emergency Base Rate	\$1,600.00
ALS Emergency Mileage	\$16.00
ALS Non-Emergency Mileage	\$16.00
ALS2 Emergency Base Rate	\$1,700.00
BLS Emergency Base Rate	\$1,450.00
1450BLS Non-Emergency Base Rate	\$1,450.00
BLS Mileage	\$16.00
BLS Non-Emergency Mileage	\$16.00
Ambulance Wait Time (30 min)	\$45.00
BLS Supplies – Routine Disposable	\$75.00
ALS Supplies – Routine Disposable	\$150.00
Extra Attend – 300+lbs Patient	\$75.00
Oxygen, Administration, Supplies	\$192.00
SCT Emergency Base Rate	\$1,875.00
Treatment/No-Transport	\$175.00

Chapter 34. Environment

Code Section	Description	Amount
34-55	Administrative fee for abatement of high grass or weeds by city	\$125.00
34-112	Administrative fee for abatement of unhealthy, unsightly, or unsanitary conditions by city	\$125.00
34-301	Seismic survey and oil and gas exploration permit (the greater of \$250.00 or \$0.25 per foot of cable extended across or along city rights-of-way, plus the anticipated cost of traffic control barricades and city police and public works personnel required if city forced and materials are used, as determined by the city)	\$250.00 or \$0.25 per foot

Chapter 38. Fire Prevention and Protection

Code Section: 38-92

Fire Code Permit Fees	Amount
Aerosol Products	\$40.00
Amusement Buildings/Park	\$40.00
Aviation Facilities	\$40.00
Battery Systems	\$40.00
Carnivals and Fairs	\$40.00
Cellulose Nitrate Film	\$40.00
Combustible Fibers	\$40.00
Compressed Gases	\$50.00
Covered Malls	\$50.00
Christmas Trees	\$10.00
Cryogenic Fluids	\$50.00

Dry Cleaning Operations	Amount
Non-flammable liquid use	\$40.00
Flammable or combustible liquid use	\$50.00
Exhibits and trade shows	\$40.00
Explosives	\$50.00
Fire Hydrant and Valves	\$20.00
Fireworks, use of outdoors	\$150.00

Flammable and combustible liquids	Amount
Pipeline Operations, Maintenance or excavation of	\$150.00
Storage of Class 1 liquids in safety cans	\$20.00
Storage of class II or class III liquids in portable containers	\$75.00
Use of underground tanks for the storage or dispensing of flammable or combustible liquids (per property)	\$150.00

Use of above ground tanks for the storage of dispensing of flammable or combustible liquids (per property)	\$150.00
Remove, abandon, place temporarily out of service flammable or combustible liquid tanks (per property)	\$50.00
Changing contents stored in flammable or combustible liquid tanks	\$50.00
Operation of refineries, distilleries, chemical plants or similar facilities	\$50.00
Stationary emergency power generators with class 1 or 11 flammable or combustible liquid tanks	\$50.00
Waste crankcase oil storage tanks	\$50.00
Floor finishing, use of flammable or combustible liquid materials	\$40.00
Fruit and crop ripening	\$40.00
Fumigation and thermal insecticide fogging	\$50.00
Hazardous production material facilities	\$50.00
High-piled storage	\$40.00
Hot work operations	\$40.00
Industrial ovens	\$40.00
Lumberyards and woodworking plants	\$40.00
Liquid or gas-fueled vehicles or equipment on display in assembly building (per vehicle)	\$10.00
Liquefied Petroleum Gas, Use Of:	
Portable Containers of 25 to 120 water gallon capacity (WGC)	\$50.00
Containers or Aggregate Exceeding:	
120 WGC up to 500 WGC	\$75.00
500 WGC up to 1,200 WGC	\$100.00
1,200 WGC up to 2,000 WGC	\$150.00
Magnesium Operations, use of	\$40.00
Miscellaneous Combustible Materials Storage	\$40.00

Open Burning	
Display fires, entertainment events (outdoors)	\$30.00
Warming fires or portable heating devices at construction sites, use of	\$30.00
Training fires (fire department use only)	No Charge
Trench burning (TCEQ approved system only)	\$500.00
Open flames and torches in assembly buildings	\$30.00
Open Flames and Candles	\$30.00
Parade floats, per float	\$10.00

Places of Assembly	
Places of assembly, greater than 50 less than 300 persons	\$30.00
Places of assembly, greater than 300 persons	\$40.00
*Churches, Schools exempt of fees	
Places of Assembly (temporary use, 30 days max)	
Tents, use of	\$30.00
Circus or carnivals	\$30.00
Exhibitions or trade shows, use of booths	\$30.00
Outdoor stage shows or converts	\$30.00
Pyrotechnic special events, use of indoors	\$50.00
Pyroxylin plastics	\$40.00
Refrigeration equipment	\$40.00
Repair garages and motor fuel-dispensing facilities	\$40.00
Roofing asphalt or tar kettles, use of (per property)	\$25.00
Rooftop and ground-level heliports	\$50.00
Spraying and dipping operations	\$40.00
Storage of scrap tires and tire byproducts	\$40.00
Temporary membrane structures, tents and canopies	\$40.00
Tire re-building plants	\$40.00
Waste handling, junkyards	\$40.00

Wood products, chips, hogged materials, lumber and plywood	\$40.00
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Construction Related Permits: (Note: unless otherwise listed, all construction or installation fees are based on the building code fee schedule, which includes the total cost of materials and labor)

Fire alarm systems, installation of	N/A
Fire sprinkler systems, installation of	N/A
Fire hose or wet/dry standpipe systems installation of	N/A
Chemical extinguishing systems, installation of	N/A
Kitchen hoods and mechanical exhaust systems, installation of	N/A
Installation of security or privacy gates within emergency access easements or roadways	N/A
Installation of underground fuel storage tanks	N/A
Installation of LP-gas containers (total greater 25 WGC)	N/A
Fire Department plan review fee	Same fee schedule as set forth in building code
Maintenance of any fire protection or detection system which requires the alteration or modification to the original or existing system	\$25.00
Contractors registration fee, annual	\$50.00
Contractors renewal fee if made in January	\$25.00
Expired permit, late renewal penalty fee	\$25.00

Special Application Permits

Private agency fire safety inspection to secure certification or license	\$40.00
Speed bumps or humps located in marked fire lanes or emergency access easements (per property)	\$30.00
Security gates, per property annually	\$40.00
Multi-family dwelling inspections, fee per unit annually	\$5.00
Fire alarm test (witness)	\$30.00
Fixed fire protection system test (witness)	\$30.00
After hours fire inspection (outside of 8 am to 5 pm)	\$45.00

Reinspection fee (aggravated, after making third visit)	\$80.00
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Chapter 42. Floods

Code Section	Description	Amount
42-133	Permit fee for activities which may increase flooding	\$100.00

Chapter 48. Landscaping

Code Section	Description	Amount
48-52	Fee for landscaping variance	\$100.00
48-53	Fee for appeal regarding landscaping	\$100.00

Chapter 50. Law Enforcement

Code Section	Description	Amount
82-49	Accident Reports	\$6.00
	Incident Reports (Standard Page Size)	\$0.10
	Incident Reports (Nonstandard Page Size)	\$0.50
	CD for Reports	\$1.00 per disc
	DVD for Reports	\$3.00 per disc
	Labor Fee	\$15.00
50-161	Wrecker service license fee	\$10.00
	Recreational Street Use & Event Permit	\$25.00
Alarm Program		
30-90	Registration Fee - Residential	\$25.00
	Registration Fee – Commercial	\$100.00
	Renewal Fee – Residential	\$25.00
	Renewal Fee – Commercial	\$100.00

	Late Fee for Registration or Renewal	A one-time charge of \$10.00 will be charged if the renewal is not paid within 30 days from the invoice date or by the permit expiration date whichever is greater.
	False Alarm – No permit fee	\$50.00
	False Alarm – 1 st false alarm to 3 rd false alarm	No Fine
	False Alarm – 4 th false alarm to 5 th	\$50.00
	False Alarm – 6 th false alarm to 7 th	\$75.00
	False Alarm – 8 th false alarm to 9 th	\$100.00
	10 th False Alarm and more	\$100.00 each and police response is suspended.
	Non-Compliance (failure to respond as requested by Police Department)	\$50.00
	Response Time: If the time to respond is more than 30 minutes, false alarm will not be charged to the alarm user.	

Chapter 54. Municipal Court

Code Section	Description	Amount
54-1	Building security fee, per conviction	\$3.00
54-2	Technology fee	\$4.00

Chapter 66. Solid Waste

Code Section	Description	Amount
66-96	Curbside residential monthly customer service charge	\$11.09
	Backdoor residential	\$14.25
	Curbside residential monthly senior citizen service charge	\$9.99
	Backdoor residential monthly senior citizen service charge	\$13.35
	Commercial – Front Load	\$13.35
	Hand Collection Monthly	\$30.74

Pickups Per Week							
Container Size	1	2	3	4	5	6	Extra Pickups
2 yd.	\$46.36	\$73.31	\$102.82	\$130.66	\$160.18	\$189.69	\$15.18
3 yd.	\$62.75	\$84.38	\$147.93	\$192.19	\$233.10	\$281.56	\$17.76
4 yd.	\$85.05	\$140.71	\$198.05	\$255.40	\$312.74	\$375.12	\$23.67
6 yd.	\$101.14	\$186.33	\$237.98	\$324.99	\$411.68	\$481.76	\$35.50
8yd.	\$132.33	\$243.66	\$334.89	\$429.46	\$517.30	\$608.52	\$47.37
Note: 1. Containers with casters are \$6.00 extra a month 2. Containers with locks \$2.40 extra a month							

Commercial (temporary) Roll-off Containers				
Container Size	Delivery Fee	Daily Charge	Load Charge	Deposit
20 yd.	\$77.39	\$3.69	\$263.87	\$257.98
25 yd.	\$77.39	\$3.69	\$305.27	\$247.98
30 yd.	\$77.39	\$3.69	\$346.67	\$257.98
35 yd.	\$77.39	\$3.69	\$388.07	\$257.98
40 yd.	\$77.39	\$3.69	\$429.47	\$257.98

Chapter 70. Streets, Sidewalks, and Other Public Places

Code Section	Description	Amount
70-66	Manholes- Deposit	\$3.00
	Manholes- Minimum deposit	\$10.00
	Ditches and cuts – Deposit	\$3.00
	Ditches and cuts – Minimum deposit	\$10.00
70-86	Street abandonment processing	\$125.00

Road Damage Remediation Fee if Operator Using Piped Water					
Road Type	Construction Cost Cost/Lane Mile 2008	AASHTO Design Life (EASL's)	Consumptive Use (EASL's)	Consumptive Use (%)	Assessment Per Lane Mile
8" Concrete	\$934,560.00	2,500,000	488.35	0.020%	\$187.00
7" Concrete	\$902,880.00	1,200,000	488.35	0.041%	\$370.00
6" Concrete	\$871,200.00	550,000	488.35	0.089%	\$775.00
6" HMAC	\$343,200.00	375,000	488.35	0.130%	\$446.00
2" HMAC over flex base	\$93,400.00	37,500	488.35	1.302%	\$1,216.00
6" Flex base with chip seal	\$63,360.00	600	488.35	81.40%	\$51,575.00

*Minimum charge \$5,000.00 per well regardless of whether the operator executes and files with the city a road damage repair agreement or such lesser amount of \$1,500.00 per well or greater as determined by the City Council provided the City Council grants an exception as provided in Chapter 70 of the City Code

Road Damage Remediation Fee if Operator Using Hauled Water					
Road Type	Construction Cost Cost/Lane Mile 2008	AASHTO Design Life (EASL's)	Consumptive Use (EASL's)	Consumptive Use (%)	Assessment Per Lane Mile
8" Concrete	\$934,560.00	2,500,000	1,336.05	0.053%	\$499.00
7" Concrete	\$902,880.00	1,200,000	1,336.05	0.111%	\$1,002.00
6" Concrete	\$871,200.00	550,000	1,336.05	0.243%	\$2,117.00
6" HMAC	\$343,200.00	375,000	1,336.05	0.356%	\$1,222.00
2" HMAC over flex base	\$93,400.00	37,500	1,336.05	3.563%	\$3,328.00
6" Flex base with chip seal	\$63,360.00	600	1,336.05	222.675%	\$141,087.00
* Minimum charge \$5,000.00 per well, or such lesser amount of \$1,500.00 per well or greater as determined by the City Council provided the City Council grants an exception as provided in Chapter 70 of the City Code					

Code Section	Description
70-101	Road damage redemption fee for wells drilled outside the city for each permitted oil or gas well should be based on the following formula

Road Damage Remediation Fee if Operator Using Piped Water					
Road Type	Construction Cost Cost/Lane Mile 2008	AASHTO Design Life (EASL's)	Consumptive Use (EASL's)	Consumptive Use (%)	Assessment Per Lane Mile
8" Concrete	\$934,560.00	2,500,000	488.35	0.020%	\$187.00
7" Concrete	\$902,880.00	1,200,000	488.35	0.041%	\$370.00
6" Concrete	\$871,200.00	550,000	488.35	0.089%	\$775.00
6" HMAC	\$343,200.00	375,000	488.35	0.130%	\$446.00
2" HMAC over flex base	\$93,400.00	37,500	488.35	1.302%	\$1,216.00

6" Flex base with chip seal	\$63,360.00	600	488.35	81.40%	\$51,575.00
*Minimum charge \$5,000.00 per well regardless of whether the operator executes and files with the city a road damage repair agreement or such lesser amount of \$1,500.00 per well or greater as determined by the City Council provided the City Council grants an exception as provided in Chapter 70 of the City Code.					

Road Damage Remediation Fee if Operator Using Hauled Water					
Road Type	Construction Cost Cost/Lane Mile 2008	AASHTO Design Life (EASL's)	Consumptive Use (EASL's)	Consumptive Use (%)	Assessment Per Lane Mile
8" Concrete	\$934,560.00	2,500,000	1,336.05	0.053%	\$499.00
7" Concrete	\$902,880.00	1,200,000	1,336.05	0.111%	\$1,002.00
6" Concrete	\$871,200.00	550,000	1,336.05	0.243%	\$2,117.00
6" HMAC	\$343,200.00	375,000	1,336.05	0.356%	\$1,222.00
2" HMAC over flex base	\$93,400.00	37,500	1,336.05	3.563%	\$3,328.00
6" Flex base with chip seal	\$63,360.00	600	1,336.05	222.675%	\$141,087.00
* Minimum charge \$5,000.00 per well regardless of whether the operator executes and files with the city a road damage repair agreement or such lesser amount of \$1,500.00 per well or greater as determined by the City Council provided the City Council grants an exception as provided in Chapter 70 of the City Code					

Chapter 70. Library

Library Fines, Fees and Charges		
Code Section	Description	Amount
70-132	Copy Machine – Black and White (per copy)	\$0.15
	Copy Machine – Color Prints (per copy)	\$0.25
	Lost/Replacement Library Card	\$1.00
	Replacement cost of lost or damaged materials	Cost of item, plus \$3.00 processing fee

Chapter 70. Parks and Recreation

Rental of Municipal Park Pavilions		
Code Section	Description	Amount
70-162	Rental Deposit	\$100
	Resident (4 hour minimum)	\$32

	Resident Additional Hours	\$6 per hour
	Non-Resident (4 hour minimum)	\$40.00
	Non-Resident Additional Hours	\$8 per hour

Chapter 74. Subdivisions

Code Section	Description	Amount
74-34	Amended Plats	\$350
74-35	Replats	\$350
74-36	Vacated Plats	\$350
74-78	Preliminary Plats	\$250
74-103	Final Plats	\$350
74-104	Inspection Fee	4% of the actual cost of improvement
Recording Fees (Tarrant County)		
	24" x 36" Plats	\$64
	18" x 24" Plats	\$49
	Each additional page (i.e. tax certificates, extra plat page, etc.)	\$4

Chapter 86. Utilities

Code Section	
	Sewer Rates:
	The following sewer or wastewater charges shall be made to customers on the Richland Hills sewer system:
(1)	<i>Separately metered residential:</i> All residential customers with a single living unit supplied with water from one meter shall be charged the following sewer or wastewater charges for each meter service:
(a)	All residential customers with a single living unit who are supplied with sewer service shall be charged a monthly sewer base charge of \$33.35.
(b)	In addition to the monthly sewer or wastewater base charge, residential customers with a single living unit who are supplied with sewer service shall be charged a monthly excess sewer or wastewater volume charge of \$0.00215 for each gallon of total water used (and wastewater produced) in excess of 2,000 gallons (the amount included in the sewer or wastewater base charge).
(c)	For purposes of this calculation, the monthly water usage (and wastewater produced) shall be determined using the customer's average monthly water usage (and wastewater produced) during the preceding winter quarter months of December, January, and February. When no preceding winter average data are available from prior customer records, an estimated average monthly winter average volume of 10,000 gallons shall be used to calculate the monthly excess sewer or wastewater charge per residential unit.
86-111	(2) When two or more residential living units are supplied with water from one meter, the sewer or wastewater service shall be classified as multi-family residential sewer or wastewater

		service. Multi-family residential sewer or wastewater service customers shall be charged the following sewer or wastewater charges for each meter service:	
	(a)	A monthly sewer or wastewater base charge of \$33.35 (the monthly sewer or wastewater base charge for the standard ¾ inch water meter equivalent for a separately metered residential unit), multiplied by an occupancy factor of 80%, multiplied by the total number of multi-family residential units supplied by the meter.	
	(b)	In addition to the monthly base sewer or wastewater charge, multi-family residential customers who are supplied with sewer service shall be charged a monthly sewer or wastewater excess volume usage charge. Monthly sewer or wastewater excess volume charges will be assessed based on the number of adjusted residential units served by the meter. The number of "adjusted multi-family residential units" shall be the actual number of multi-family residential units served by the meter, multiplied by an occupancy factor of 80%, rounded up to the nearest whole number.	
	(c)	Each adjusted multi-family residential unit shall be assessed a sewer or wastewater excess volume charge each month calculated as follows:	
		1) The monthly winter average water volume or estimated sewer volume, used shall be divided by the number of adjusted multi-family residential units to determine the monthly volume usage per adjusted multi-family residential unit;	
		2) The monthly winter average water volume per adjusted multi-family residential unit shall then be reduced by 2,000 gallons (the amount of usage included in the base charge) to determine the excess sewer or wastewater usage per multi-family residential unit;	
		3) The total excess sewer or wastewater usage shall then be assessed at a rate of \$0.00215 for each gallon of total winter average water used (and wastewater produced) in excess of the first 2,000 gallons of volume usage included in the base charge;	
		4) The excess sewer or wastewater usage charge per unit shall then be multiplied by the adjusted multi-family residential units supplied water by the meter to obtain a total volume charge for winter average water usage for the meter.	
	(d)	For purposes of this calculation, the monthly winter average sewer or wastewater usage shall be determined using the customer's average monthly water usage (and wastewater produced) during the preceding winter quarter months of December, January and February. When no preceding winter average data are available from prior customer records, an estimated average monthly winter average volume of 10,000 gallons shall be used to calculate the monthly excess sewer or wastewater charge per multi-family residential unit.	
	(3)	The following sewer or wastewater charges shall be made to non-residential customers on the Richland Hills sewer system:	
	(a)	The monthly minimum sewer or wastewater base charge shall be \$38.50 for the first 2,000 gallons of actual water used (and wastewater produced) during the monthly billing period.	
	(b)	In addition to the monthly base charge, non-residential customers who are supplied with sewer service shall be charged a monthly excess sewer or wastewater volume usage charge of \$0.00335 for each gallon of total water used (and wastewater produced) over	

		the first 2,000 gallons of winter average water volume usage included in the base charge.	
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Code Section	Drainage (stormwater) utility fees	Amount
86-144	The monthly drainage (stormwater) utility fees for each residential dwelling unit, or ERU, as defined in the Stormwater Utility Ordinance, Article III of Chapter 86 of the City Code, shall be as follows for each fiscal year beginning October 1 st	\$13.50
	The monthly drainage (utility fees for the impervious area, on each non-residential parcel, measured in square feet (sf), as defined in the Stormwater Utility Ordinance, Article III of Chapter 86 of the City Code, shall be as follows for each fiscal year beginning October 1 st .	\$0.00519 per sf
	The drainage (stormwater) utility fee may be revised by the City Council by ordinance from time to time as permitted by law	

Gas Service Rates		
Code Section	Description	Amount
86-182	Residential – Customer charge	\$8.00
	Residential – All consumption, per Mcf	\$3.8301
	If the service period is less than 28 days in a month, the customer charge is \$0.2857 times the number of days of service. If the consumption contains a portion of an Mcf, a pro-rata portion of the per Mcf charge will be made.	
	Commercial – Customer charge	\$14.00
	First 20 Mcf	\$4.1150
	Next 30 Mcf	\$3.8150
	Over 50 Mcf	\$3.6650
	If the service period is less than 28 days in a month, the customer charge is \$0.50 times the number of days of service.	
	Bills are due and payable when rendered and must be paid within 15 days from the monthly billing date	
	Resident off-peak sales discount	An off-peak sales discount of \$0.25 per Mcf will apply to residential customers' volume purchased in excess of 8 Mcf for each of the billing months of May through October

Water Meter Setting Charges		
Code Section	Description	Amount
86-248	¾ inch tap	\$475.00
	1-inch tap	\$500.00
	1 ½ inch tap	\$900.00
	2-inch tap	\$1,025.00
	2" Compound Meter	\$2,325.00

The following water charges shall be assessed to customers on the Richland Hills water system	Separated Metered Residential		Meter Size	Demand Factor	Monthly Base Charge
	All residential customers with a single living unit supplied with water from one meter shall be charged the following water service charges for each meter service		5/8 -inch meter	0.67	\$14.37
	A monthly water base charge is based upon the size and capacity of the meter service (also known as meter equivalents, with a ¾-inch meter being the established standard unit), as provided in the following table	→	¾-inch meter	1.00	\$24.45
			1.0-inch meter	1.67	\$40.81
			1.5-inch meter	3.33	\$76.41
			2.0-inch meter	5.33	\$119.30
			3.0-inch meter	10.00	\$219.43
			4.0-inch meter	16.67	\$366.00

Code Section	Description		Amount
	(1)	A monthly excess water volume charge as calculated below, in addition to the monthly water base charge:	
	(a)	First 2,000 gallons minimum; per additional gallon	\$0.003
		2,001—4,000 gallons total, per additional gallon	\$0.00417
		4,001—10,000 gallons total, per additional gallon	\$0.00440
		10,001—20,000 gallons total, per additional gallon	\$0.006
		Over 20,000 gallons, per additional gallon	\$0.00603
	(2)	When two or more residential living units are supplied with water from one meter, the water service shall be classified as a multi-family residential service. A multi-family residential service customer shall be charged the following water service charges for each meter service:	
	(a)	A monthly water base charge of \$24.45 (the monthly water base charge for the standard ¾ inch water meter equivalent for a separately metered residential unit),	

			multiplied by an occupancy factor of 80%, multiplied by the total number of multi-family residential units supplied by the meter.	
		(b)	In addition to the monthly base charge, multi-family residential customers who are supplied with water service shall be charged a monthly excess water volume usage charge. Monthly excess water volume charges will be assessed based on the number of "adjusted multi-family residential units" served by the meter. The number of adjusted multi-family residential units shall be the actual number of multi-family residential units served by the meter multiplied by an occupancy factor of 80%, rounded up to the nearest whole number. Each adjusted multi-family residential unit shall be assessed an excess water volume charge each month, which charge shall be calculated as follows:	
		1)	The total monthly water volume as indicated on the meter shall be divided by the number of adjusted multi-family residential units to determine the monthly water volume consumed per adjusted multi-family residential unit;	
		2)	The monthly water volume consumed per adjusted multi-family residential unit shall be reduced by 2,000 gallons (the amount of usage included in the base charge) to determine the excess water volume usage;	
		3)	Excess water volume usage per adjusted multi-family residential unit shall be assessed according to the following table:	
			First 2,000 gallons minimum; per additional gallon	\$0.003
			2,001—4,000 gallons total, per additional gallon	\$0.00417
			4,001—10,000 gallons total, per additional gallon	\$0.00440
			10,001—20,000 gallons total, per additional gallon	\$0.006
			Over 20,000 gallons, per additional gallon	\$0.007
		4)	The total excess water volume usage charge per unit shall then be multiplied by the number of adjusted multi-family residential units supplied by the meter to obtain the total excess water volume charge charged to the customer.	
	(3)		The following water service charges shall be made to non-residential customers on the Richland Hills water system for each meter service:	
		(a)	A monthly water base charge based upon the size and capacity of the meter service (also known as meter equivalents, with a ¾ inch meter being the established standard), as provided in the following table:	

Meter Size	Demand Factor	Monthly Base Charge
5/8 -inch meter	0.67	\$14.37
¾-inch meter	1.00	\$29.45

1.0-inch meter	1.67	\$40.81
1.5-inch meter	3.33	\$76.41
2.0-inch meter	5.33	\$120.00
3.0-inch meter	10.00	\$225.00
4.0-inch meter	16.67	\$375.00

Description		Amount
A monthly excess water service volume charge as calculated below, in addition to the monthly water base charge		
First 2,000 gallons minimum; per additional gallon		\$0.0025
2,001-4,000 gallons total, per additional gallon		\$0.00475
4,001-10,000 gallons total, per additional gallon		\$0.00525
10,001-20,000 gallons total, per additional gallon		\$0.006
Over 20,000 gallons, per additional gallon		\$0.00775

Impact Fees			
The effective and collected impact fee for water and wastewater schedule			
Meter Size	Equivalency Factor	Water Impact Fee	Wastewater Impact Fee
5/8" x 5/8" and 5/8" x 3/4"	1.00	\$1,758.00	\$1,044.00
3/4" x 3/4"	1.50	\$2,637.00	\$1,566.00
1"	2.50	\$4,396.00	\$2,609.00
1-1/2"	5.00	\$8,791.00	\$5,219.00
2"	8.00	\$14,066.00	\$8,350.00
3"	21.75	\$38,242.00	\$22,702.00
4"	37.50	\$65,934.00	\$39,141.00
6"	80.00	\$140,660.00	\$83,500.00

8"	140.00	\$246,155.00	\$146,125.00
10"	210.00	\$396,233.00	\$219,187.00

Other Fees and Charges	
Description	Amount
Activation Fee	\$6.00
Deposits – Residential Homeowners	\$50.00
Deposits – Residential Tenants	\$75.00
Deposits – Commercial Accounts	\$50.00, minimum to be adjusted after 90 days to be at least \$50.00 and up to an amount that is equal to the average monthly water bill over the 90-day period
Reconnect Service Charge for Cut-off Accounts	\$40.00
Additional Deposit for Delinquent Cut-Off Accounts (paid at time of reconnection)	\$15.00
Charge for Reconnection by Unauthorized Person	\$25.00
Charge for Checks Returned/ACH Returned by Bank	\$20.00
Meter Temper Fee	\$50.00
Construction Meter Deposit	\$2,000.00
Monthly Construction Meter Rental Fee	\$50.00

Chapter 90. Zoning

Code Section	Description	Amount
90-202(i)(7)(a)	Administrative fee for temporary sales	\$30.00
	Zoning Variance	\$300.00
	Zoning Special Exception	\$300.00
	Zoning Verification Letter	\$20.00
	Zoning Board of Adjustments	\$150.00
	Special Use Permit (SUP)	\$300.00
	Planned Development	\$300.00
	Site Plan	\$300.00
	Zoning Change	\$300.00

The Link

Memberships	
Description	Amount
Resident Memberships	
Adult	\$250.00
Family	\$420.00
Senior	\$150.00
Senior Couple	\$150.00
Teen	\$120.00
Child	\$120.00

Other	
Non-Residents	20% more of each age criteria
Group Ex	\$100.00 annually in combination with general membership - \$300.00 annually if sold by itself
Day Pass – Adult	\$8.00
Day Pass – Senior/Teen/Child	\$5.00
Bird's Nest	\$2.00

Deposits and Discounts	
Rentals < \$200.00	\$0.00 Deposit
Rentals \$200-\$500.00	\$150.00 Deposit
> \$500.00	\$250.00 Deposit
Rental Discount for Members	10%
Rental Discounts for Non-Profits	20%

Room Rentals		
Description	Amount	Peak Hourly Pricing
1 Community Room	\$50.00	\$55.00
2 Community Rooms	\$90.00	\$100.00
3 Community Rooms	\$125.00	\$140.00
Link Training Room	\$25.00	\$25.00
Game Room	\$15.00	\$20.00
Annex Building	\$40.00	\$40.00
Bird's Nest	\$30.00	\$50.00
Group Ex	\$30.00	\$30.00
Gym	\$50.00	\$50.00
Half Court	\$30.00	\$30.00
Kitchen	\$50.00 per day	\$50.00 per day

City Facility Rentals

Room Rentals		
Description	Amount	Peak Hourly Pricing
Administration Building Offices	\$15.00	\$15.00
Administration Building Conference Rooms	\$35.00	\$35.00

Community Events

Memberships	
Description	Amount
Community Event Fee	\$300

(Ord. No. 893-01, § I, 4-10-2001; Ord. No. 907-01, §§ I, II, 9-11-2001; Ord. No. 974-03, § 2, 10-14-2001; Ord. No. 925-02, § 2, 2-26-2002; Ord. No. 940-02, §§ I, II, 9-24-2002; Ord. No. 961-03, § 2, 6-3-2003; Ord. No. 972-03, §§ I, II, 9-23-2003; Ord. No. 980-04, § 2, 3-8-2004; Ord. No. 995-04, §§ 1—3, 9-14-2004; Ord. of 10-14-2004, § II; Ord. No. 1002-05, § 5, 1-11-2005; Ord. No. 1013-05, § 2, 4-26-2005; Ord. No. 962-03, § 2, 3-4-04 § Ord. No. 1346-18, 4-23-2018)

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Scott Mitchell, Director of Neighborhood Services

Date: June 14, 2021

Subject: Bid Award for FY 2021 Street Improvement Fund Projects

Agenda Item:

Consider bid award to ANA Site Construction, LLC for the FY 2021 Street Improvement Fund Projects

Background Information:

On November 6, 2018, Richland Hills residents approved a proposition to reallocate existing sales tax to a dedicated street and infrastructure improvement fund. As a part of the annual fiscal year budget, the City Council appropriates funding on street projects that are selected during the budget development process and approved by the Council. For FY 2021, the streets approved for reconstruction were:

- Rosebud Lane from Pine Park to Lavon Drive/Cecil Drive
- 3600 Block of Chaffin Drive
- Vance underground utilities and re-paving in partnership with Tarrant County

Halff Engineering completed design and engineering for the projects. A Request for Bid was issued with three (3) responsive bids received. Of the three bids, ANA Site Construction, LLC, submitted the lowest base bid in the amount of \$1,068,863. They also submitted a bid for Added Alternate Number 1 in the amount of \$25,116. Staff recommends moving forward with the base bid only at this time.

ANA Site Construction successfully completed vetting by Halff Engineering. They have also done multiple projects in the City of Richland Hills, and staff has been pleased with their performance.

Financial Considerations:

Funding for the proposed street improvement projects was approved in the FY 2021 Street Improvements Fund

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

Bid Tabulation Sheet
Halff Recommendation Letter

Council Action Requested:

Motion to award bid to ANA Site Construction, LLC, in the amount of \$1,068,863 for the FY 2021 Street Improvement Fund Projects

NOTE: LIST BIDS LOWEST TO HIGHEST:

Richland Hills Street Projects FY 21

City of Richland Hills

Date: Wednesday, May 19, 2021, 2:00 P.M.

				Bidder 1		Bidder 2		Bidder 3	
				ANA SITE CONSTRUCTION		PEACHTREE CONSTRUCTION		RELIABLE PAVING	
NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE
	Consecutive Calendar Days to Complete Work								
Base Bid: Section 1									
1	Barricades, Warning and Detour Signs	MO	4	\$1,785.00	\$7,140.00	\$3,800.00	\$15,200.00	\$3,400.00	\$13,600.00
2	Joint Storm Water Pollution Prevention Plan	LS	1	\$7,020.00	\$7,020.00	\$3,000.00	\$3,000.00	\$2,200.00	\$2,200.00
3	Mobilization and General Site Preparation	LS	1	\$41,225.00	\$41,225.00	\$90,000.00	\$90,000.00	\$57,000.00	\$57,000.00
4	Miscellaneous Construction Contingency	LS	1	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00
5	Preconstruction Video	LS	1	\$2,905.00	\$2,905.00	\$550.00	\$550.00	\$800.00	\$800.00
6	Cleanup	LS	1	\$13,250.00	\$13,250.00	\$6,000.00	\$6,000.00	\$7,000.00	\$7,000.00
7	Construction Staking	LS	1	\$9,835.00	\$9,835.00	\$14,000.00	\$14,000.00	\$14,400.00	\$14,400.00
Total Bid Amount (Section 1)					\$131,375.00		\$178,750.00		\$145,000.00
Base Bid: Section 2 - Rosebud Lane									
8	Project Signs	EA	1	\$1,150.00	\$1,150.00	\$345.00	\$345.00	\$390.00	\$390.00
9	Sawcut and Remove Existing Asphalt Pavement	SY	89	\$18.95	\$1,686.55	\$16.45	\$1,464.05	\$10.00	\$890.00
10	Sawcut and Remove Existing Concrete Pavement	SY	2,695	\$6.75	\$18,191.25	\$17.50	\$47,162.50	\$10.00	\$26,950.00
11	Sawcut and Remove Existing Concrete Driveway Pavement	SY	413	\$9.65	\$3,985.45	\$14.30	\$5,905.90	\$14.00	\$5,782.00
12	Sawcut and Remove Concrete Curb and Gutter	LF	29	\$25.05	\$726.45	\$1.60	\$46.40	\$10.00	\$290.00
13	Remove and Replace Asphalt Pavement	SY	32	\$98.60	\$3,155.20	\$58.00	\$1,856.00	\$84.00	\$2,688.00
15	Remove and Replace Chain Link Fence	LF	58	\$50.10	\$2,905.80	\$32.00	\$1,856.00	\$20.00	\$1,160.00
16	Unclassified Street Excavation	CY	350	\$24.45	\$8,557.50	\$26.25	\$9,187.50	\$58.00	\$20,300.00
17	Block Sodding	SY	1,777	\$4.00	\$7,108.00	\$13.00	\$23,101.00	\$12.00	\$21,324.00
18	6-inch Thick Grade A, Type 1 or 2 Flex Base	SY	3,001	\$9.00	\$27,009.00	\$24.50	\$73,524.50	\$13.40	\$40,213.40
19	4-inch HMAA Type "B" Base Course	SY	2,364	\$23.35	\$55,199.40	\$21.00	\$49,644.00	\$20.30	\$47,989.20
20	2-inch HMAA Type "D" Surface Course	SY	2,364	\$14.05	\$33,214.20	\$11.00	\$26,004.00	\$10.10	\$23,876.40
21	6-inch Thick, 4,000 psi Portland Cement Reinforced Concrete Driveway and Approach Pavement	SY	476	\$56.00	\$26,656.00	\$85.90	\$40,888.40	\$71.00	\$33,796.00
22	Concrete Curb and Gutter	LF	1,215	\$29.05	\$35,295.75	\$41.50	\$50,422.50	\$36.00	\$43,740.00
23	Trench Safety for Storm Drain Lines	LF	137	\$10.00	\$1,370.00	\$1.25	\$171.25	\$2.00	\$274.00
24	24-inch Class III Reinforced Concrete Storm Drain (open cut)	LF	137	\$86.00	\$11,782.00	\$97.50	\$13,357.50	\$180.00	\$24,660.00
25	10-foot Standard Curb Inlet	EA	2	\$4,900.00	\$9,800.00	\$3,400.00	\$6,800.00	\$6,600.00	\$13,200.00
28	Remove Existing 6-inch Water Line	LF	30	\$9.00	\$270.00	\$8.50	\$255.00	\$12.00	\$360.00
29	Abandon Existing 6-inch Water Line	LF	773	\$3.00	\$2,319.00	\$3.55	\$2,744.15	\$10.00	\$7,730.00
30	8-inch AWAAC C900 PVC DR 18 (Class 150) Water Line (open cut)	LF	808	\$49.00	\$39,592.00	\$49.60	\$40,076.80	\$64.00	\$51,712.00
31	8-inch Gate Valve	LF	3	\$2,380.00	\$7,140.00	\$2,045.00	\$6,135.00	\$1,860.00	\$5,580.00
35	Connect to Existing Water Line	EA	2	\$1,530.00	\$3,060.00	\$1,700.00	\$3,400.00	\$3,000.00	\$6,000.00
36	1-inch Water Service Line (Short)	EA	8	\$2,052.00	\$16,416.00	\$2,250.00	\$18,000.00	\$1,860.00	\$14,880.00
37	1-inch Water Service Line (Long)	EA	7	\$2,335.00	\$16,345.00	\$2,580.00	\$18,060.00	\$2,220.00	\$15,540.00
39	14-inch O.D. x 1/2" Steel Casing for Water Line	LF	20	\$121.00	\$2,420.00	\$207.00	\$4,140.00	\$198.00	\$3,960.00
40	Trench Safety for Sanitary Sewer Lines	LF	890	\$2.00	\$1,780.00	\$1.35	\$1,201.50	\$2.00	\$1,780.00
41	Remove Existing Sanitary Sewer Manhole	EA	3	\$1,200.00	\$3,600.00	\$940.00	\$2,820.00	\$960.00	\$2,880.00
42	Remove Existing Sanitary Sewer Lines (various sizes)	LF	177	\$15.00	\$2,655.00	\$3.10	\$548.70	\$18.00	\$3,186.00
43	Abandon Existing Sanitary Sewer Lines (various sizes)	LF	787	\$8.00	\$6,296.00	\$3.55	\$2,793.85	\$9.60	\$7,555.20
44	4-foot Diameter Standard Sanitary Sewer Manhole (0 to 6 feet deep)	EA	5	\$5,000.00	\$25,000.00	\$3,955.00	\$19,775.00	\$5,400.00	\$27,000.00
45	4-foot Diameter Sanitary Sewer Drop Manhole (0 to 6 feet deep)	EA	1	\$5,800.00	\$5,800.00	\$5,600.00	\$5,600.00	\$9,000.00	\$9,000.00
46	Extra Depth for 4-foot Diameter Sanitary Sewer Manhole	VF	19	\$500.00	\$9,500.00	\$350.00	\$6,650.00	\$330.00	\$6,270.00
47	6-inch PVC SDR 35 Sanitary Sewer (open cut)	LF	93	\$37.00	\$3,441.00	\$22.75	\$2,115.75	\$64.80	\$6,026.40

NOTE: LIST BIDS LOWEST TO HIGHEST:

Richland Hills Street Projects FY 21

City of Richland Hills

Date: Wednesday, May 19, 2021, 2:00 P.M.

				Bidder 1		Bidder 2		Bidder 3	
				ANA SITE CONSTRUCTION		PEACHTREE CONSTRUCTION		RELIABLE PAVING	
NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE
48	8-inch PVC SDR 35 Sanitary Sewer (open cut)	LF	797	\$39.00	\$31,083.00	\$33.50	\$26,699.50	\$68.40	\$54,514.80
49	4-inch Sanitary Sewer Service Line (Short Service)	EA	9	\$1,300.00	\$11,700.00	\$823.00	\$7,407.00	\$1,440.00	\$12,960.00
50	4-inch Sanitary Sewer Service Line (Long Service)	EA	9	\$1,700.00	\$15,300.00	\$1,400.00	\$12,600.00	\$1,800.00	\$16,200.00
51	12-inch O.D. x 1/2" Steel Casing for Sanitary Sewer Line	LF	20	\$141.00	\$2,820.00	\$170.00	\$3,400.00	\$186.00	\$3,720.00
52	Sanitary Sewer Pre-Construction Television Inspection	LF	898	\$3.00	\$2,694.00	\$1.40	\$1,257.20	\$3.60	\$3,232.80
53	Sanitary Sewer Post-Construction Television Inspection	LF	890	\$2.00	\$1,780.00	\$2.45	\$2,180.50	\$2.40	\$2,136.00
54	Inlet Protection	EA	6	\$90.00	\$540.00	\$150.00	\$900.00	\$90.00	\$540.00
Total Bid Amount (Section 2)					\$459,343.55		\$540,496.45		\$570,286.20

Base Bid: Section 3 - Chaffin Drive									
8	Project Signs	EA	1	\$1,150.00	\$1,150.00	\$345.00	\$345.00	\$390.00	\$390.00
9	Sawcut and Remove Existing Asphalt Pavement	SY	2,358	\$6.50	\$15,327.00	\$16.45	\$38,789.10	\$10.53	\$24,829.74
11	Sawcut and Remove Existing Concrete Driveway Pavement	SY	11	\$91.00	\$1,001.00	\$14.30	\$157.30	\$36.00	\$396.00
12	Sawcut and Remove Concrete Curb and Gutter	LF	708	\$5.00	\$3,540.00	\$1.60	\$1,132.80	\$6.00	\$4,248.00
17	Block Sodding	SY	160	\$4.00	\$640.00	\$13.00	\$2,080.00	\$12.00	\$1,920.00
18	6-inch Thick Grade A, Type 1 or 2 Flex Base	SY	2,997	\$9.00	\$26,973.00	\$24.40	\$73,126.80	\$13.40	\$40,159.80
19	4-inch HMAC Type "B" Base Course		2,360	\$24.00	\$56,640.00	\$21.00	\$49,560.00	\$20.33	\$47,978.80
20	2-inch HMAC Type "D" Surface Course	SY	2,360	\$14.00	\$33,040.00	\$11.00	\$25,960.00	\$10.20	\$24,072.00
21	6-inch Thick, 4,000 P.S.I. Portland Cement Reinforced Concrete Driveway and Approach Pavement	SY	11						
				\$75.00	\$825.00	\$85.85	\$944.35	\$90.00	\$990.00
22	Concrete Curb and Gutter	LF	708	\$32.00	\$22,656.00	\$41.35	\$29,275.80	\$42.00	\$29,736.00
Total Bid Amount (Section 3)					\$161,792.00		\$221,371.15		\$174,720.34

Base Bid: Section 4 - Vance Drive									
8	Project Signs	EA	1	\$1,150.00	\$1,150.00	\$345.00	\$345.00	\$390.00	\$390.00
12	Sawcut and Remove Existing Asphalt Pavement	LF	48	\$15.00	\$720.00	\$1.60	\$76.80	\$12.00	\$576.00
13	Sawcut and Remove Existing Concrete Driveway Pavement	SY	1,282	\$47.00	\$60,254.00	\$45.55	\$58,395.10	\$84.00	\$107,688.00
14	Sawcut and Remove Concrete Curb and Gutter	SY	5	\$50.00	\$250.00	\$106.00	\$530.00	\$180.00	\$900.00
17	Block Sodding	SY	37	\$4.00	\$148.00	\$13.00	\$481.00	\$12.00	\$444.00
22	Concrete Curb and Gutter	LF	48	\$32.00	\$1,536.00	\$41.50	\$1,992.00	\$67.00	\$3,216.00
26	Remove and Salvage Existing Fire Hydrant	EA	4	\$550.00	\$2,200.00	\$601.00	\$2,404.00	\$720.00	\$2,880.00
27	Remove and Salvage Existing Water Valve	EA	10	\$450.00	\$4,500.00	\$360.00	\$3,600.00	\$240.00	\$2,400.00
28	Abandon Existing Water Line	LF	2,478	\$3.00	\$7,434.00	\$3.55	\$8,796.90	\$7.20	\$17,841.60
30	8-inch AWA C900 PVC DR 18 (Class 150) Water Line (open cut)	LF	2,525	\$50.00	\$126,250.00	\$55.00	\$138,875.00	\$63.60	\$160,590.00
31	8-inch Gate Valve	EA	2	\$2,440.00	\$4,880.00	\$1,940.00	\$3,880.00	\$1,860.00	\$3,720.00
32	3-inch Cut In Gate Valve	EA	2	\$1,880.00	\$3,760.00	\$1,220.00	\$2,440.00	\$1,800.00	\$3,600.00
33	6-inch Cut In Gate Valve	EA	3	\$2,750.00	\$8,250.00	\$1,580.00	\$4,740.00	\$2,640.00	\$7,920.00
34	8-inch Cut In Gate Valve	EA	1	\$3,685.00	\$3,685.00	\$2,300.00	\$2,300.00	\$3,360.00	\$3,360.00
35	Connect to Existing Water Line	EA	9	\$1,280.00	\$11,520.00	\$1,800.00	\$16,200.00	\$3,000.00	\$27,000.00
36	1-inch Water Service Line (Short)	EA	3	\$2,530.00	\$7,590.00	\$2,600.00	\$7,800.00	\$1,860.00	\$5,580.00
37	1-inch Water Service Line (Long)	EA	2	\$2,760.00	\$5,520.00	\$2,910.00	\$5,820.00	\$2,220.00	\$4,440.00
38	Fire Hydrant Assembly	EA	4	\$5,255.00	\$21,020.00	\$5,940.00	\$23,760.00	\$5,400.00	\$21,600.00
39	Trench Safety for Sanitary Sewer Lines	LF	128	\$10.00	\$1,280.00	\$1.90	\$243.20	\$1.20	\$153.60
41	Remove Existing Sanitary Sewer Manhole	EA	3	\$3,000.00	\$9,000.00	\$950.00	\$2,850.00	\$960.00	\$2,880.00
42	Remove Existing Sanitary Sewer Lines (various sizes)	LF	128	\$20.00	\$2,560.00	\$2.60	\$332.80	\$18.00	\$2,304.00
44	4-foot Diameter Standard Sanitary Sewer Manhole (0 to 6 feet deep)	EA	3	\$5,600.00	\$16,800.00	\$4,140.00	\$12,420.00	\$5,400.00	\$16,200.00

NOTE: LIST BIDS LOWEST TO HIGHEST:

Richland Hills Street Projects FY 21

City of Richland Hills

Date: Wednesday, May 19, 2021, 2:00 P.M.

				Bidder 1		Bidder 2		Bidder 3	
				ANA SITE CONSTRUCTION		PEACHTREE CONSTRUCTION		RELIABLE PAVING	
NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE
46	Extra Depth for 4-foot Diameter Sanitary Sewer Manhole	VF	3	\$610.00	\$1,830.00	\$320.00	\$960.00	\$330.00	\$990.00
47	6-inch PVC SDR 35 Sanitary Sewer (open cut)	LF	87	\$50.00	\$4,350.00	\$38.00	\$3,306.00	\$90.00	\$7,830.00
48	8-inch PVC SDR 35 Sanitary Sewer (open cut)	LF	41	\$89.00	\$3,649.00	\$51.25	\$2,101.25	\$108.00	\$4,428.00
50	4-inch Sanitary Sewer Service Line (Long Service)	EA	2	\$1,800.00	\$3,600.00	\$1,100.00	\$2,200.00	\$1,800.00	\$3,600.00
52	Sanitary Sewer Pre-Construction Television Inspection	LF	372	\$3.00	\$1,116.00	\$1.90	\$706.80	\$3.60	\$1,339.20
53	Sanitary Sewer Pre-Construction Television Inspection	LF	500	\$3.00	\$1,500.00	\$2.45	\$1,225.00	\$2.40	\$1,200.00
Total Bid Amount (Section 3)					\$316,352.00		\$308,780.85		\$415,070.40

TOTAL BID AMOUNT - BASE BID		\$1,068,862.55		\$1,249,398.45		\$1,305,076.94
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Added Alternate No. 1 - Rosebud Lane									
ALT-1	6-inch Thick, 4,000 psi Portland Cement Reinforced Concrete Pavement w/monolithic curb	SY	2,701	\$55.10	\$148,825.10	\$114.55	\$309,399.55	\$54.00	\$145,854.00
19	4-inch HMAC Type "B" Base Course	SY	2,364	\$23.35	(\$55,199.40)	\$21.00	(\$49,644.00)	\$20.30	(\$47,989.20)
20	2-inch HMAC Tpye "D" Surface Course	SY	2,364	\$14.05	(\$33,214.20)	\$11.00	(\$26,004.00)	\$10.10	(\$23,876.40)
22	Concrete Curb and Gutter	LF	1,215	\$29.05	(\$35,295.75)	\$41.50	(\$50,422.50)	\$36.00	(\$43,740.00)
Total Bid Amount (Added Alternate No. 1)					\$25,115.75		\$183,329.05		\$30,248.40
TOTAL BID AMOUNT - BASE BID + ADDED ALTERNATE					\$1,093,978.30		\$1,432,727.50		\$1,335,325.34



4000 Fossil Creek Boulevard
Fort Worth, Texas 76137
(817) 847-1422
Fax (817) 232-9784

May 21, 2021
AVO 31515.019

Mr. Scott Mitchell
Director of Neighborhood Services
City of Richland Hills
3200 Diana Drive
Richland Hills, Texas 76118

Re: Street Projects FY 21

Dear Mr. Mitchell:

Bids were opened on the above-referenced project on Wednesday, May 19, 2021, at the City of Richland Hills. Three (3) bids were received, and they ranged from a high base bid of \$1,305,076.94 to a **low base bid of \$1,068,862.55**. Ana Site Construction was the low bidder. Ana Site Construction submitted a bid for **Additive Alternate No. 1 at \$25,115.75**. We have contacted the City of Celina, the City of Allen and The City of Plano, who have awarded similar projects to Ana Site Construction to verify their qualifications.

In a conversation with Mr. Jeff McClelland with the City of Celina concerning Ana Site Construction's performance on their Celina Water Systems Improvements project, Jeff stated that the project went very smoothly, and they are very easy to work with. There were no issues with Ana Site Construction during this project. Jeff also stated that Ana Site Construction has multiple ongoing projects with the city, and they do excellent work.

In a conversation with Mr. Scott Holden with the City of Plano about Ana Site Construction's performance on their Sewer Improvements Data & Lotus project, Scott stated that Ana Site Construction did an excellent job. He said that they were very easy to work with and without hesitation would be willing to work with them again. No major issues came up on the project on the contractor's side, but there was an issue with the city that called for a redesign. Ana Site Construction was very patient during this issue and sat idle and was more than willing to make accommodations for the city.

We also spoke with Mr. Trent Allen with the City of Allen about Ana Site Construction's performance on their Northbrook Court Drainage Improvements project, Trent stated that this was his first time working with Ana Site Construction and he was very impressed with their work as they were very easy to work with and completed this project well within the time frame. There were no issues with Ana Site Construction throughout the duration of this project, Trent stated that



4000 Fossil Creek Boulevard
Fort Worth, Texas 76137
(817) 847-1422
Fax (817) 232-9784

he wished he would work with them more in the future as they are very professional and very knowledgeable.

Ana Site Construction has also successfully completed projects for the City of Richland Hills in the past and has a good opinion of their work.

Per their resume, they have never failed to complete any work and have no outstanding claims filed against them. Adam Darrach submitted all required documents along with their bid proposal. It is the opinion of Halff Associates, Inc. that Ana Site Construction is qualified to perform the work associated with this project.

Sincerely,

HALFF ASSOCIATES, INC.

David A. Burkett, P.E.

Memorandum

To: Honorable Mayor Edward Lopez and Richland Hills City Council Members

From: Logan Thatcher, Assistant to the City Manager

Date: June 14th, 2021

Subject: 7-Eleven Electronic Monument Sign

Agenda Item:

Consider approval of electronic sign request for the 7-Eleven located at 2625 Handley Ederville Road

Background Information:

The new 7-Eleven has submitted a request for an electronic monument sign. The proposed sign is a structured ground sign measuring 10'-0" OAH by 10'-2 ¾". The digital fuel price sign is approximately 4'-10 ½" by 5'-1 3/8".

As required in Chapter 62, Section 173 of the City's Code of Ordinances, electronic signs must be approved by the City Council. Staff has reviewed the proposal and confirmed the sign meets all city ordinance requirements.

Financial Considerations:

N/A

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

7-Eleven Monument Sign Proposal

Council Action Requested:

Motion to approve the electronic monument sign request for the 7-Eleven located at 2625 Handley Ederville Road



CITY OF RICHLAND HILLS, TEXAS

June 14, 2021
6A - 3

3200 DIANA DRIVE • RICHLAND HILLS, TEXAS 76118
• PHONE (817) 616-3770 • FAX (817) 616-3752
NEIGHBORHOOD SERVICES

SIGN PERMIT APPLICATION

Applicant / Business Owner Information:

Business Name : _____

Address: _____ Phone Number: _____

Email Address: _____

Contractor Information:

Business Name: _____

Address: 4250 Action Dr Mesquite, TX 75150 Phone Number: _____

Contact Name: _____ Email Address: _____

Signature: _____

Proposed Sign Information

___ Temporary ___ Portable ___ Monument ___ Pole ___ Banner ___ Attached/Wall

Sign Location: _____

Size: _____

Will this sign require electricity? _____

If yes, is electricity Existing _____ New is required _____

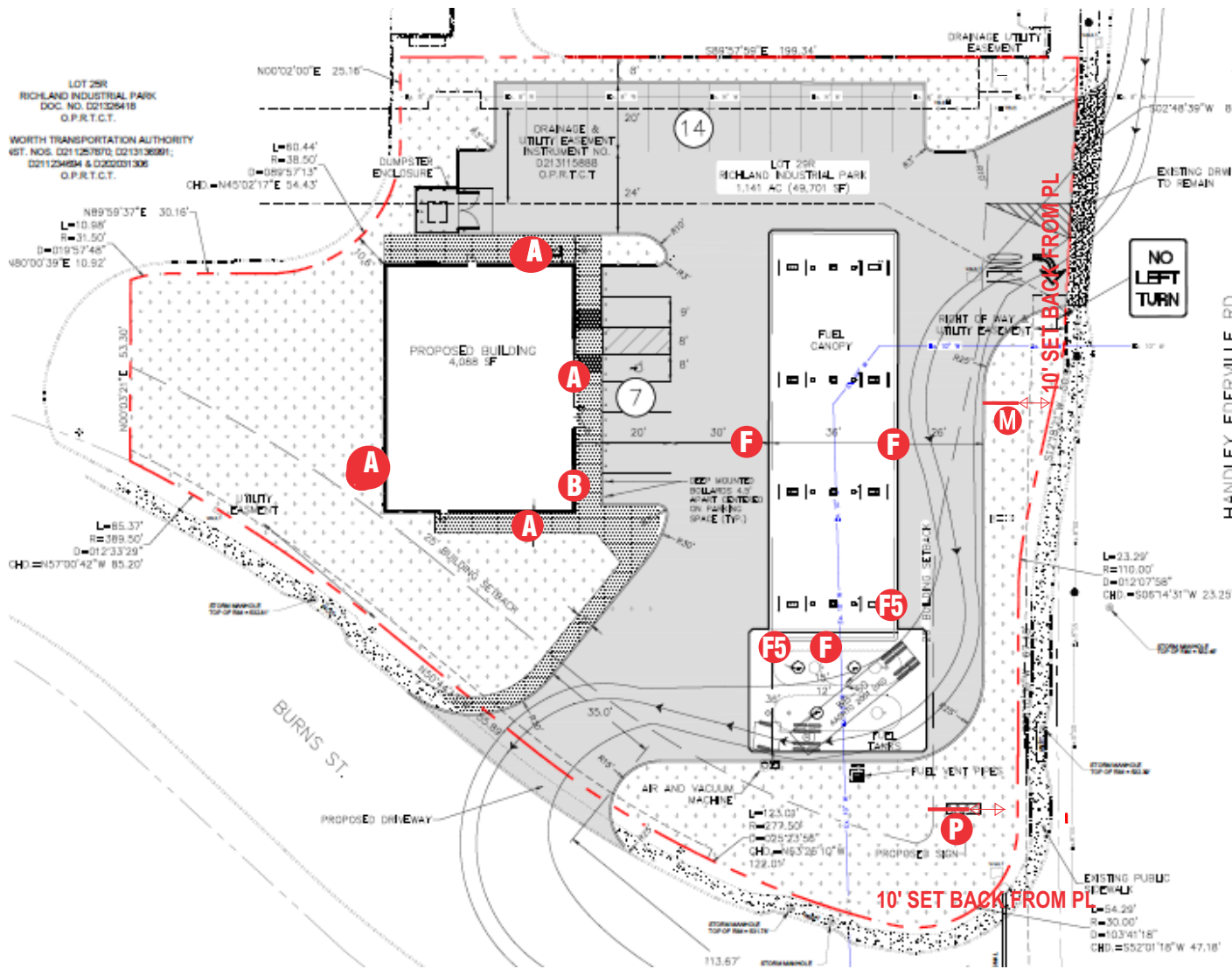
Will the sign be taking up any vehicle parking spaces? ___ Yes ___ No

If yes, how many? _____

*** The sign shall not block the fire lane ***

Permit Fee: _____ Receipt # : _____ Date: _____

Received By: _____ Permit # _____



PRODUCT LIST

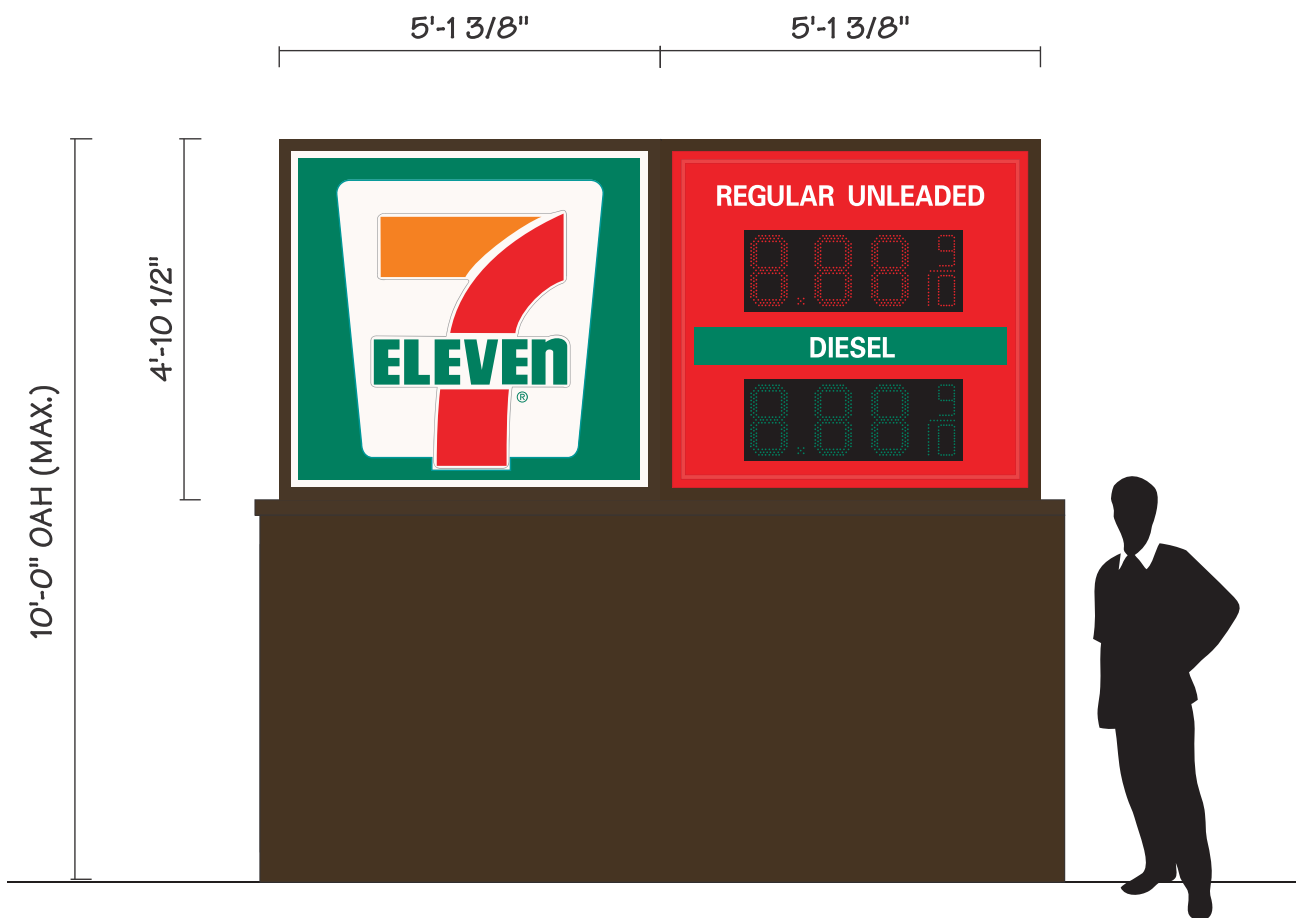
SQ. FT.	QTY	ITEM
EXTERIOR BUILDING SIGNS		
117.9	4	TATEYAMA
10	1	ATM WALL SIGN
EXTERIOR GROUND SIGN		
134	1	DF PYLON SIGN
50	1	DF MONUMENT SIGN
FUEL CANOPY FASCIA SIGNS & VINYL		
9	3	SF CANOPY SIGNS (MAIN ID KEYSTONE)
N/A	4	TRI-STRIPE VINYL SETS



June 14, 2021

6A - 5

M



- DOUBLE FACE INTERNALLY ILLUMINATED SIGN.
- LED ILLUMINATION.
- 8" EXTRUDED ALUMINUM CABINET & RETAINERS PAINTED BRONZE.
- FORMED AND EMBOSSED POLYCARBONATE FACES
- TRAPLINE PROPORTIONAL TO LOGO FIELD.

	3M 3630-26		WHITE
	3M 3630-33		BRONZE
	3M 3630-44		

- DOUBLE FACE INTERNALLY ILLUMINATED SIGN CABINET.
- EXTRUDED ALUMINUM CABINET & RETAINERS PAINTED DURANODIC BRONZE.
- PAN FORMED CLEAR ACRYLIC FACE BACK SPRAYED PMS 485 RED.
- WHITE COPY.
- DIESEL BACKGROUND 3M 3630-26 GREEN
- WHITE LED ILLUMINATION
- DIGITAL PRICER - PWM
 - 12" RED LED
 - 12" GREEN LED

● ELECTRICAL NOTES:

TOTAL AMPS - 9.0

TOTAL CIRCUITS - (1) 20 AMP REQUIRED

VOLTS - 120

	3M 3630-26		WHITE
	PMS 485		BRONZE

PROPOSED: 50 SQ. FT.

Job Location: 41591

42625 Handley Ederville Rd.,
Richland, TX 76681 Date: May
18, 2021



D-ORDER# 101096.08 TDP

Project Mgr.: Jessica Ogle

jessica.ogle@cummingsigns.com Page: 11 of
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