

**ZONING BOARD OF ADJUSTMENT
MEETING AGENDA
CITY HALL, 3200 DIANA DRIVE
APRIL 2, 2024, at 6:00 PM**

The Work Session and Regular Session are open to the public. If Executive Session is required, it will be held in the Conference Room, and is closed to the public. Please note that although the Zoning Board will generally consider the items on the agenda in the order shown below, they may elect to re-order items in order to accommodate the needs of the board members, city staff, presenters, or the public generally. Therefore, members of the public interested in any agenda item are encouraged to be in attendance at the start of the meeting.

ZONING BOARD OF ADJUSTMENT WORK SESSION – 6:00 PM

1. Provide training regarding Zoning Board of Adjustment authority pursuant to the Code of Ordinances and Local Government Code 211.009.

REGULAR SESSION – 7:00 PM

2. CALL TO ORDER

3. EXECUTIVE SESSION

Executive Session: Pursuant to the Open Meetings Act, Chapter 551, Texas Government Code, Section 551.071. **Executive Session may be held, under these exceptions, at any time during the meeting that a need arises for the Zoning Board of Adjustment to seek advice from the City Attorney as to the posted subject matter of this Zoning Board of Adjustment meeting.**

Reconvene into open session for possible action resulting from any items posted and legally discussed in Executive Session.

4. PUBLIC COMMENTS

This is the public's opportunity to address the Zoning Board of Adjustment on any matter not posted on the agenda. Citizen comments emailed to Lindsay Rawlinson (lrawlinson@richlandhills.com) on an item either listed on this agenda or not listed on this agenda will be heard at this time.

REGULAR AGENDA

5. Approve minutes from the March 5, 2024, Zoning Board of Adjustment meeting.
6. Consider **ZBA 2024-0116**, a request for a variance to decrease the front and side yard setback requirement for the property described as Lot 9, Block 6, Richland Park

Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 3012 Elm Park, Richland Hills, Texas 76118. **PUBLIC HEARING**

7. Consider **ZBA 2024-0128**, a request for a variance to decrease the side yard setback requirement and allow for an oversized carport for the property described as Lot 5, Block 18, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 2821 Elm Park, Richland Hills, Texas 76118. **PUBLIC HEARING**

8. ADJOURNMENT

CERTIFICATE

I hereby certify that the above agenda was posted on this the 28th day of March 2024, by 5:30 p.m., on the official bulletin board at the Richland Hills City Hall, 3200 Diana Drive, Richland Hills, Texas.

Lindsay Rawlinson
Lindsay Rawlinson
City Secretary



ACCESSIBILITY STATEMENT

The Facility is wheelchair accessible. If you plan to attend this meeting and you have a disability that requires special arrangements at the meeting, please notify the City Secretary 48 hours in advance of the meeting so that reasonable accommodations can be made. City of Richland Hills (817) 616-3810.

Memorandum

To: Richland Hills Zoning Board of Adjustment

From: Lindsay Rawlinson, City Secretary

Date: April 2, 2024

Subject: Minutes from the March 5, 2024 Zoning Board of Adjustment Meeting

Agenda Item:

Approval of March 5, 2024 Zoning Board of Adjustment Meeting Minutes

Background Information:

N/A

Financial Considerations:

N/A

Legal Review:

N/A

Board/Citizen Input:

N/A

Attachments:

March 5, 2024 Draft Minutes

Suggested Motion:

Motion to approve the minutes from the March 5, 2024 Zoning Board of Adjustment meeting

**ZONING BOARD OF ADJUSTMENT
MARCH 5, 2024
MINUTES**

Roll Call:

Members present

Jorge Cisneros, Chair
Pamela Keith, Place 2 (arrived 6:10 p.m.)
Ashly Schilling, Place 3
Athena Campbell, Place 4
Lisa Skier, Place 5
Joyce Fiaccone, Alternate 1 (arrived 6:09 p.m.)

Members absent

Staff present

JP Ducay, Director of Planning and Development Services
Lindsay Rawlinson, City Secretary
Elizabeth Yelverton, City Attorney

1. CALL TO ORDER

Chairman Cisneros called the meeting to order at 6:00 p.m.

2. EXECUTIVE SESSION

A. Executive Session: Pursuant to the Open Meetings Act, Chapter 551, Texas Government Code, Section 551.071. Executive Session may be held, under these exceptions, at any time during the meeting that a need arises for the Zoning Board of Adjustment to seek advice from the City Attorney as to the posted subject matter of this Zoning Board of Adjustment meeting.

Motion: Motion was made by Member Skier and seconded by Member Schilling to convene into Executive Session. Time: 6:01 p.m.

Motion carried by a vote of 4-0.

B. Reconvene: Action necessary on items discussed in Executive Session

Chairman Cisneros reconvened into open session. Time 6:16 p.m.

3. PUBLIC COMMENTS

None.

REGULAR AGENDA

4. Approve minutes from the September 5, 2023 Zoning Board of Adjustment meeting.

Motion: Motion was made by Member Campbell and seconded by Member Schilling to approve the September 5, 2023 Zoning Board of Adjustment meeting minutes.

Motion carried by a vote of 5-0.

5. Approved ZBA 2024-0090, a request for a variance to increase the lot coverage maximum for the property described as Lot A, Block 98 Richland Hills Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 7600 Bridges Avenue, Richland Hills, Texas 76118.PUBLIC HEARING

Director of Planning and Development Services JP Ducay presented ZBA 2024-0090, a request for a variance to increase the lot coverage maximum of 3,168 square-feet by 964 square-feet making the lot coverage maximum 4,132 square-feet for the property described as Lot A, Block 98, Richland Hills Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 7600 Bridges Avenue, Richland Hills, Texas 76118. The property is a 7,920 square foot lot with a 2,976 square-foot two-family (duplex) residence located in the SF-7 zoning district. In order to construct any new structure on site, a lot coverage zoning variance would be required to address this pre-existing non-conformity.

Chairman Cisneros opened the Public Hearing at 6:15 p.m. and asked to hear from any proponents followed by opponents of the case.

Nigel Crudginton, 7600 Bridges Avenue, Richland Hills, advised that he is requesting to build a metal 800 square foot enclosed garage over an existing 836 square foot concrete pad. The property was built in 1971 and a carport was previously constructed on top of the concrete pad. In August 2023, a storm caused the carport to collapse. The site exceeds the lot coverage requirement due to the existing rear yard driveway and concrete (carport) pad.

Discussion ensued regarding the need for a variance as the concrete was pre-existing and is considered a legal nonconforming use on the property.

Ken Nichols, 7516 Bridges Avenue, Richland Hills, inquired if the variance would also apply to other homes in the area.

City Attorney Elizabeth Yelverton advised that, no, the variance would only apply to this specific property.

Chairman Cisneros closed the Public Hearing at 6:32 p.m.

Ms. Yelverton clarified that the Board has the duty to justify the necessity of a variance and explained that the concrete pad is already in existence and the property owner is seeking to use it. The lot coverage does not actually change.

Motion: Motion was made by Member Schilling and seconded by Member Campbell to approve ZBA 2024-0090, a request for a variance to increase the lot coverage maximum for the property described as Lot A, Block 98, Richland Hills Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 7600 Bridges Avenue, Richland Hills, Texas 76118.

Motion passed by a vote of 5-0.

6. ADJOURNMENT

Motion: Motion was made by Member Schilling and seconded by Member Fiaccone to adjourn.

Motion carried by a vote of 6-0.

There being no further business to come before the Zoning Board of Adjustment, Chairman Cisneros declared the meeting adjourned at 6:37 p.m.

ATTEST:

APPROVED:

Lindsay Rawlinson, City Secretary

Jorge Cisneros, Chairman

Memorandum

To: Richland Hills Zoning Board of Adjustment

From: JP Ducay, Director of Planning & Development Services

Date: April 2, 2024

Subject: Zoning Variance Request for 3012 Elm Park

Agenda Item:

Consider ZBA 2024-0116, a request for a variance to decrease the front and side yard setback requirements for the property described as Lot 9, Block 6, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 3012 Elm Park, Richland Hills, Texas 76118. **PUBLIC HEARING**

Background Information:

The property at 3812 Elm Park is a 7,380 square-foot lot with a 1,049 square-foot single-family residence located in the SF-7 zoning district. The applicant for this property is Ivan Hernandez Ramirez.

According to **Section 2.03.03(D) SF-7 Single-Family Residential – Area regulations:**

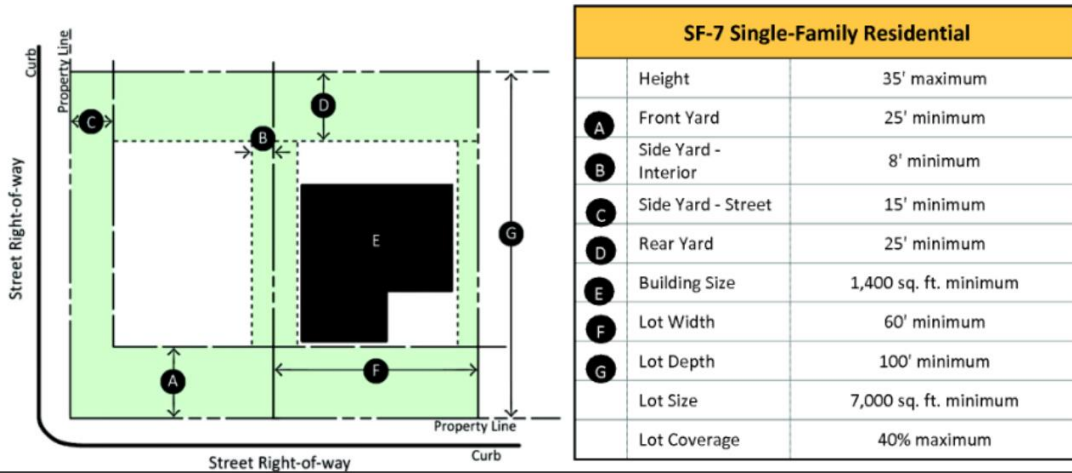
- The front yard setback shall be a minimum of 25 feet.
- The side yard interior setback shall be a minimum of 8 feet.

The applicant is proposing to construct a covered front porch and expand the main living area. During preliminary building plan review, it was determined that the proposed construction would encroach into the front and side yard setback.

The applicant is requesting a variance to decrease the front yard setback of 25' to 18'6" and the side yard setback of 8' to 6'1". The living area expansion is proposed to line up consistently with the existing building footprint. Subsequently, the subject residence currently encroaches into the side yard setback. This legal non-conforming status is lost, and a variance must be received when proposing to expand a non-conforming structure. (please see attached slides from the applicant).

Zoning Map:

(D) Area regulations.



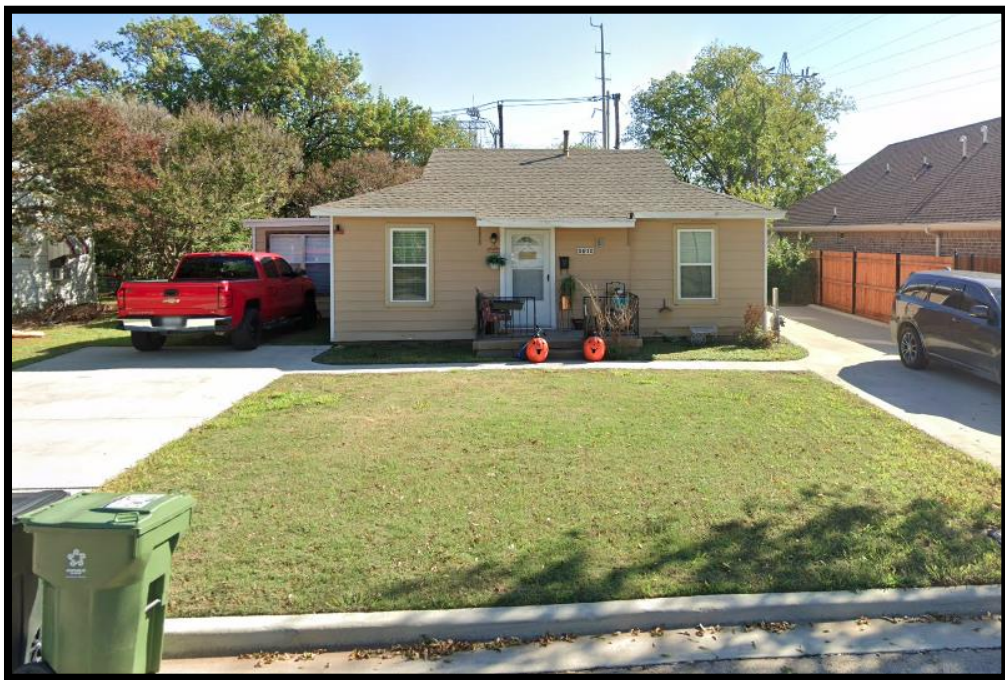
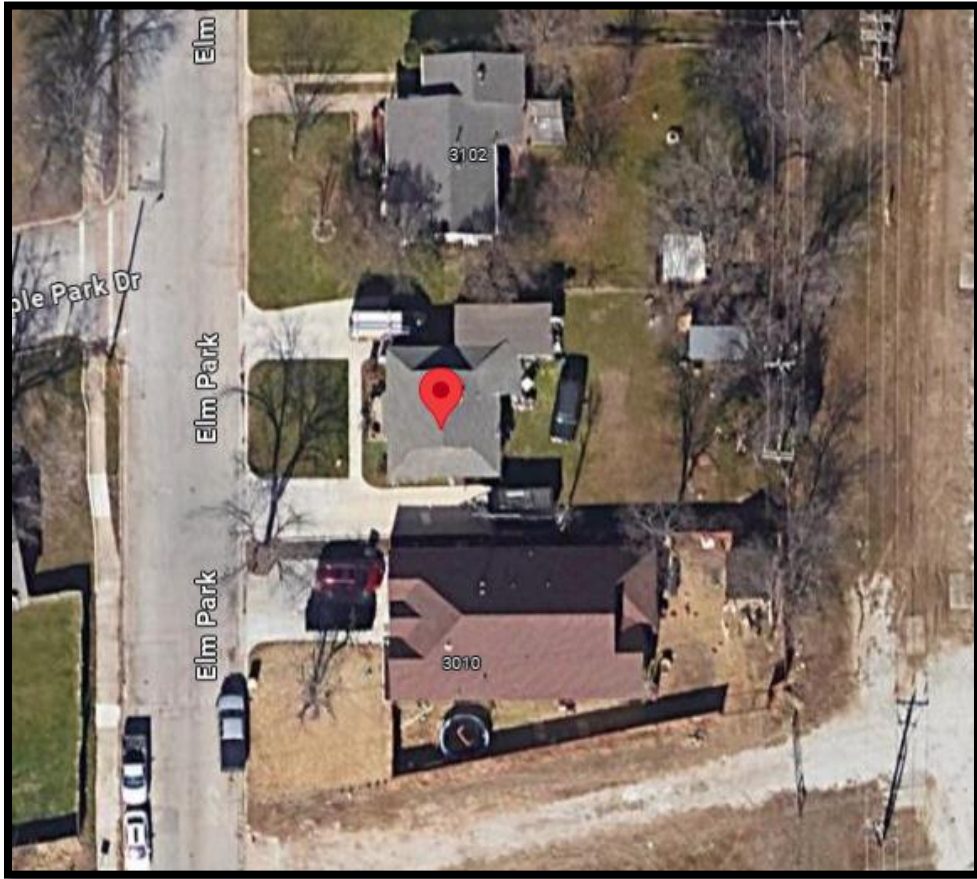
Attachments:

- Property Photos
- Proposed Plans
- Section 6.12 – Zoning Variance

Motion:

Motion to (approve/deny) ZBA 2024-0116, a request for a variance to decrease the front and side yard setback requirements for the property described as Lot 9, Block 6, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 3012 Elm Park, Richland Hills, Texas 76118.

3012 Elm Park Property Photos





Richland Hills Development Services

3200 Diana Drive | Richland Hills, TX, 76118

817-616-3800 | richlandhills.com

Zoning Board of Adjustment Application

Application Type

Special Exception - Zoning

Special Exception - Sign

Variance

Property Owner Information

Name: Ivan Hernandez Ramirez

Address: 3012 Elm Park Richland Hills, Tx 76118

Phone: 817 500 3259 Email Address: ivanhrgeneral@icloud.com

I, the undersigned owner or authorized agent of the following described real property, located in the City of Richland Hills, Texas, hereby make application for a request for a special exception/variance from Section 6.12.01 of the Richland Hills Code of Ordinances.

Signature: Ivan Hernandez Ramirez Date: 2/12/24

Applicant/Tenant Information

Name: Ivan Hernandez Ramirez

Address: 3012 Elm Park Richland Hills, Tx 76118

Phone: 817 500 3259 Email Address: ivanhrgeneral@icloud.com

Detailed description of request: I want to expand my living room 15-4x10-6 and would like to expand the existing structure.

Acknowledgement

I have read this application form and understand that filing the application does not guarantee an affirmative action by the Zoning Board of Adjustment. I further understand that at least four (4) affirmative votes must be cast in order to receive a special exception or variance.

Signature: Ivan Hernandez Ramirez Date: 2/12/24

For Office Use Only

Received by: Wangjel Fee Paid: \$300.00 Case Number: 20240116

Approved by: _____ Date: _____

Comments: _____

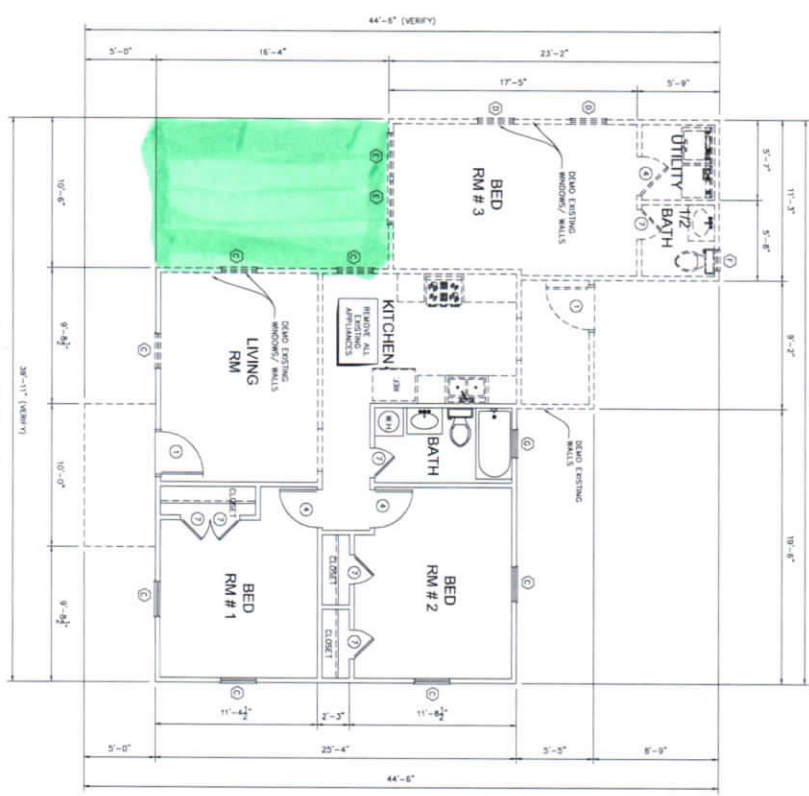
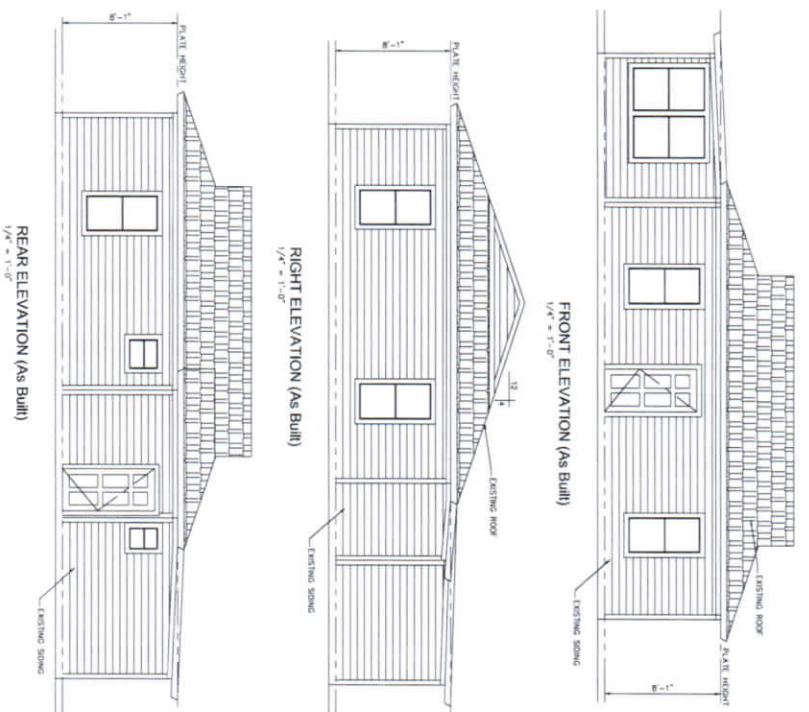
RICHLAND CONSULTING
 1817 7385-7100
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 1817 7385-7100
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PROJECT NO. 2023-001
 DATE: 10/15/2023
 DRAWING NO. 2023-001-01
 SHEET NO. 2023-001-01

NEW ADDITION AND REMODELING
 3012 Elm Park
 RICHLAND HILLS, TEXAS 76118

SHEET NAME:
 FLOOR PLAN (As Built)
 EXTERIOR ELEVATION
 (As Built)

SHEET FROM
A2.0



WINDOW SCHEDULE

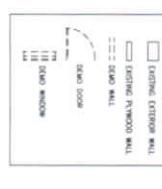
MARKING	SIZE	REMARKS
①	3'-0" x 5'-0"	SINGLE HUNG
②	3'-0" x 3'-0"	SINGLE HUNG
③	2'-6" x 5'-0"	SINGLE HUNG
④	2'-6" x 3'-0"	SINGLE HUNG
⑤	3'-0" x 4'-0"	SINGLE HUNG
⑥	1'-8" x 2'-0"	SINGLE HUNG
⑦	2'-0" x 2'-0"	SINGLE HUNG

DOOR SCHEDULE

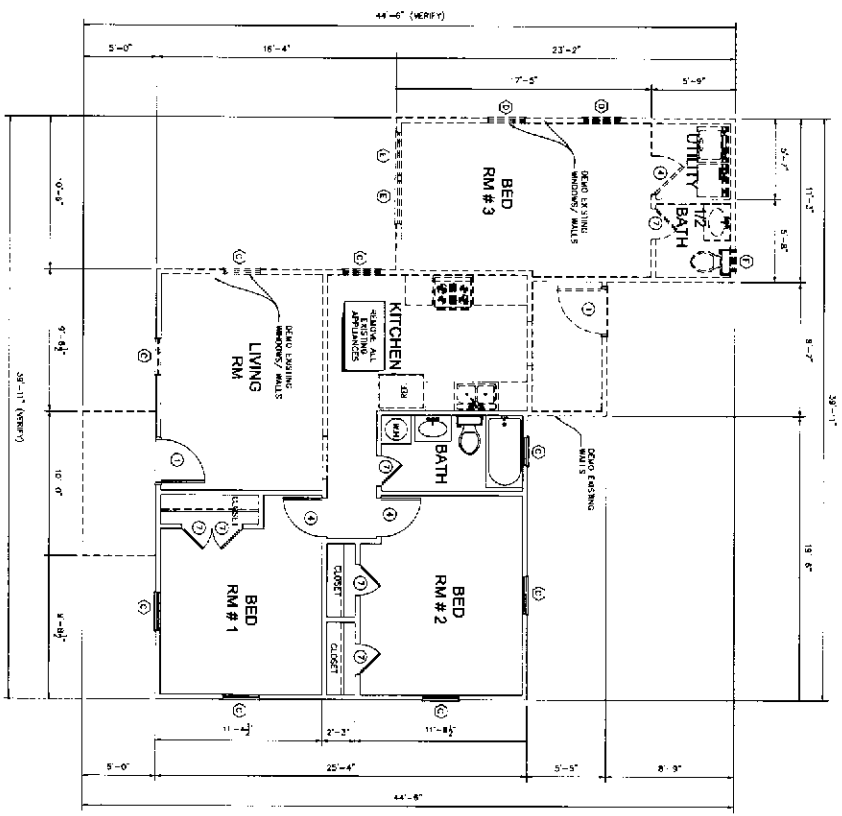
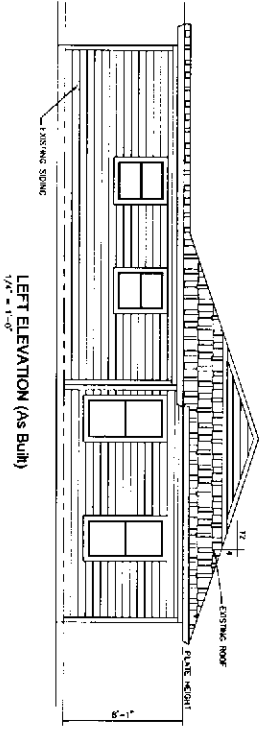
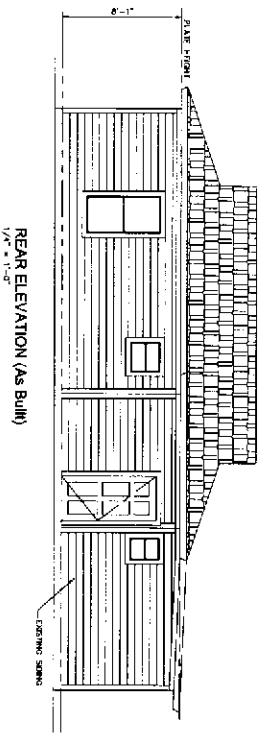
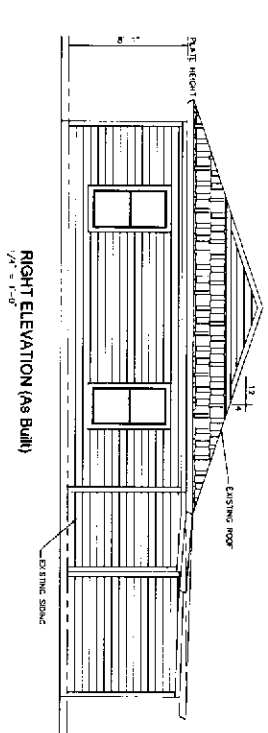
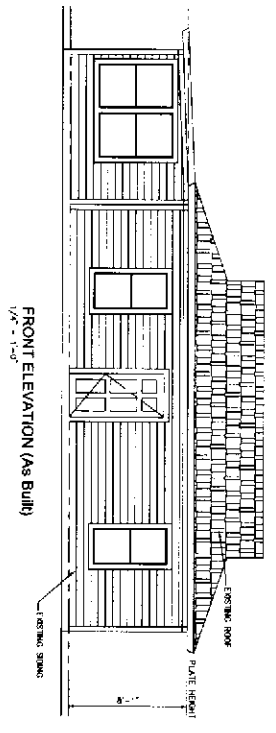
MARKING	SIZE	REMARKS
①	3'-0" x 6'-8" x 3/4"	EXTERIOR
②	2'-0" x 6'-8" x 3/4"	EXTERIOR
③	3'-0" x 6'-8" x 3/4"	INTERIOR
④	2'-0" x 6'-8" x 3/4"	INTERIOR
⑤	2'-0" x 6'-8" x 3/4"	INTERIOR (BI-FOLD)
⑥	6'-0" x 6'-8" x 3/4"	INTERIOR
⑦	2'-0" x 6'-8" x 3/4"	INTERIOR

LEGEND

EXISTING FLOOR PLAN AREA	EXISTING FLOOR PLAN AREA
LIVING AREA	1,049 SQ. FT.
EXTERIOR PORCH	0 SQ. FT.
TOTAL AREA	1,049 SQ. FT.



ALL WINDOWS TO MEET AISC NATIONAL
 REINFORCEMENT RATING (CONCRETE LABEL)
 ALL DOORS & WINDOWS WITH GLAZING SHALL
 BE Labeled TO MEET AISC NATIONAL
 REINFORCEMENT RATING (CONCRETE LABEL)
 SMALLER AND UNLabeled DOORS SHALL BE



WINDOW SCHEDULE

WINDOW	SIZE	FINISHES
1	7'-0\" x 8'-0"	SHIELD HINGE
2	7'-0\" x 8'-0"	SHIELD HINGE
3	7'-0\" x 8'-0"	SHIELD HINGE
4	7'-0\" x 8'-0"	SHIELD HINGE
5	7'-0\" x 8'-0"	SHIELD HINGE
6	7'-0\" x 8'-0"	SHIELD HINGE
7	7'-0\" x 8'-0"	SHIELD HINGE
8	7'-0\" x 8'-0"	SHIELD HINGE
9	7'-0\" x 8'-0"	SHIELD HINGE
10	7'-0\" x 8'-0"	SHIELD HINGE
11	7'-0\" x 8'-0"	SHIELD HINGE
12	7'-0\" x 8'-0"	SHIELD HINGE

FLOOR SCHEDULE

LOOR	SIZE	FINISHES
1	7'-0\" x 8'-0\" 1/4"	EXTENSION
2	7'-0\" x 8'-0\" 1/4"	EXTENSION
3	7'-0\" x 8'-0\" 1/4"	EXTENSION
4	7'-0\" x 8'-0\" 1/4"	EXTENSION
5	7'-0\" x 8'-0\" 1/4"	EXTENSION
6	7'-0\" x 8'-0\" 1/4"	EXTENSION
7	7'-0\" x 8'-0\" 1/4"	EXTENSION
8	7'-0\" x 8'-0\" 1/4"	EXTENSION
9	7'-0\" x 8'-0\" 1/4"	EXTENSION
10	7'-0\" x 8'-0\" 1/4"	EXTENSION
11	7'-0\" x 8'-0\" 1/4"	EXTENSION
12	7'-0\" x 8'-0\" 1/4"	EXTENSION

LEGEND

- EXISTING FLOOR PLAN AREA
- NEW ADDITION
- REMOVAL
- EXISTING EXTERIOR WALL
- NEW EXTERIOR WALL
- EXISTING INTERIOR WALL
- NEW INTERIOR WALL
- EXISTING DOOR
- NEW DOOR
- EXISTING WINDOW
- NEW WINDOW

PER ADDITION AND REMOVING

3012 Elm Park
 RICHLAND HILLS, TEXAS 76118

DATE: 10/20/2023

PROJECT NAME:
 FLOOR PLAN (As Built)
 EXTERIOR ELEVATION (As Built)

SHEET NO:
A2.0

ARCHITECT: [Faded text]

DATE: 10/20/2023

PROJECT NAME:
 FLOOR PLAN (As Built)
 EXTERIOR ELEVATION (As Built)

SHEET NO:
A2.0

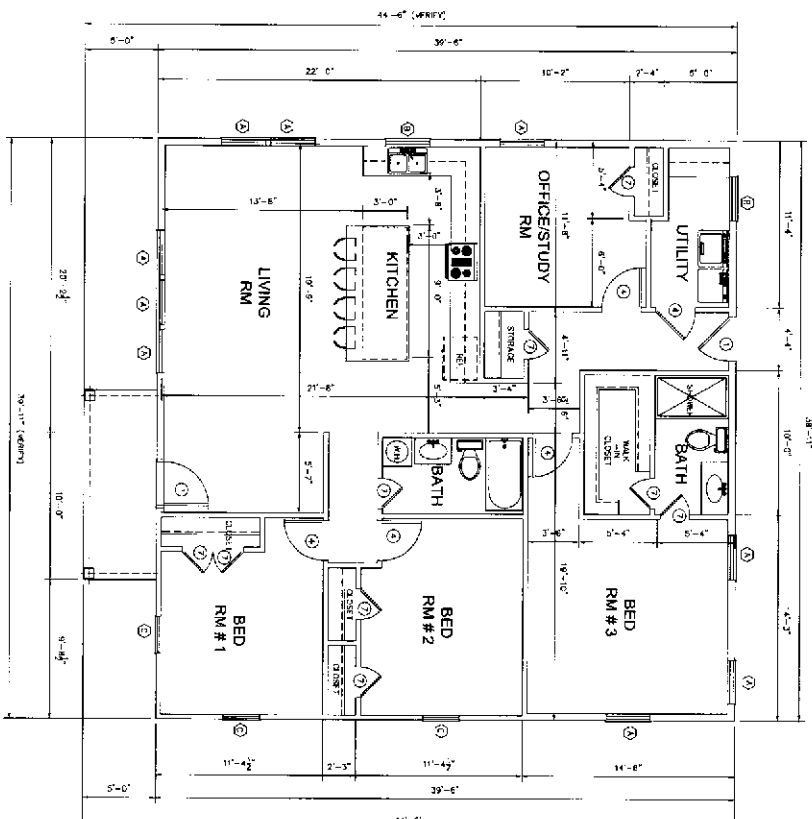
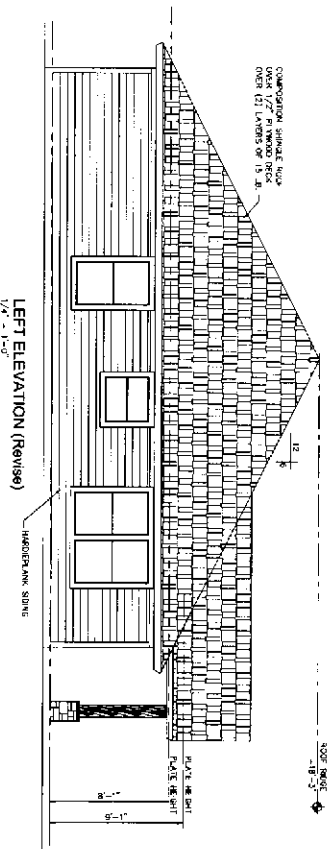
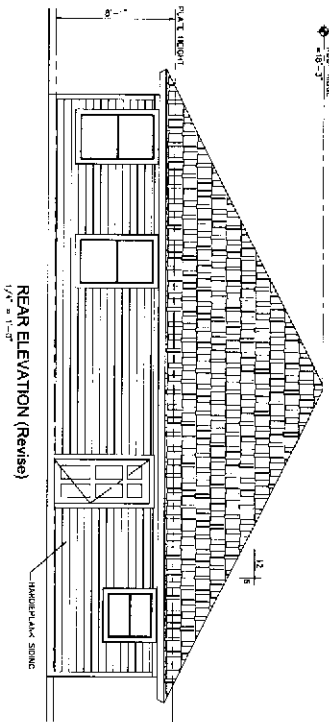
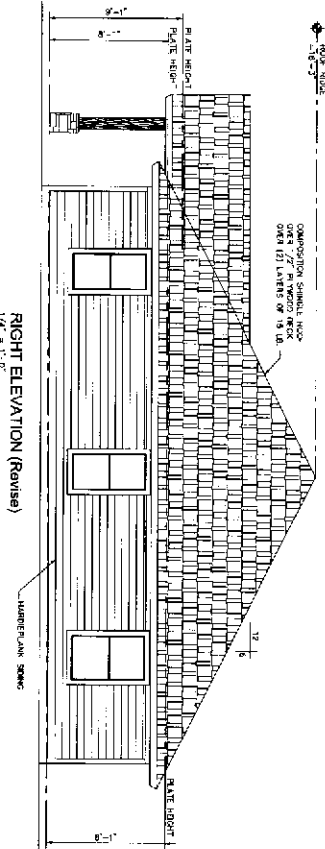
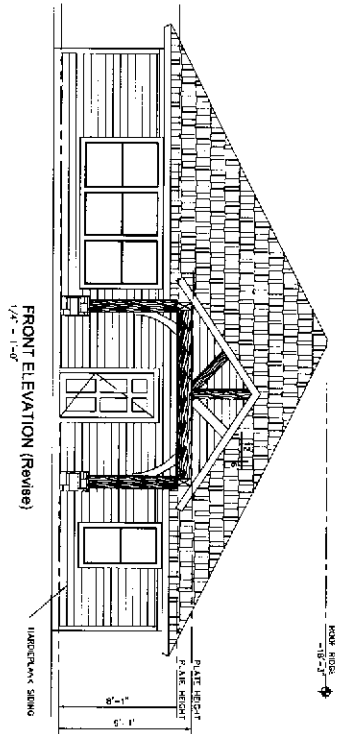
PER ADDITION AND REMOVING

3012 Elm Park
 RICHLAND HILLS, TEXAS 76118

DATE: 10/20/2023

PROJECT NAME:
 FLOOR PLAN (As Built)
 EXTERIOR ELEVATION (As Built)

SHEET NO:
A2.0



FLOOR PLAN (Revise)
1/4" = 1'-0"

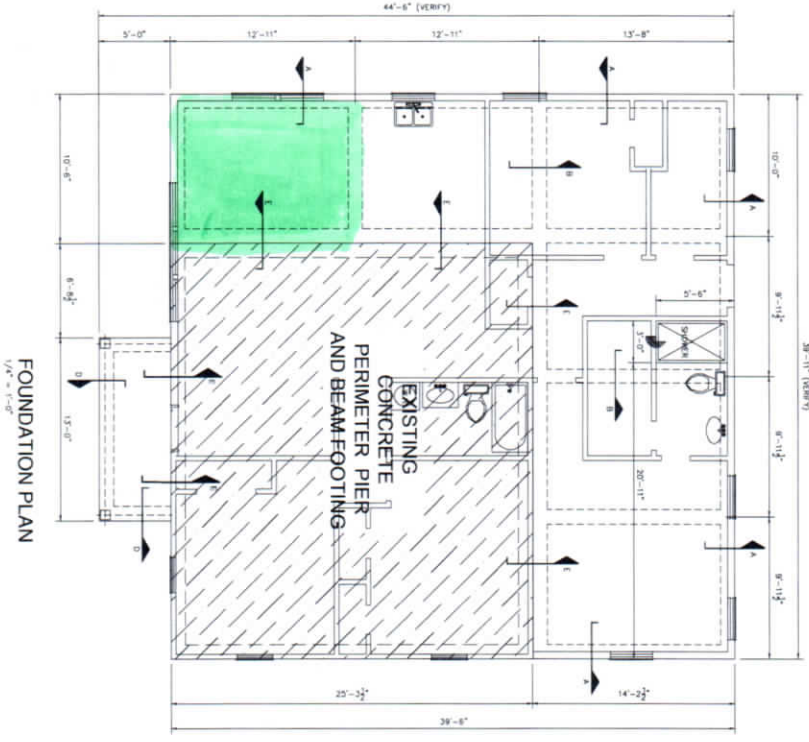
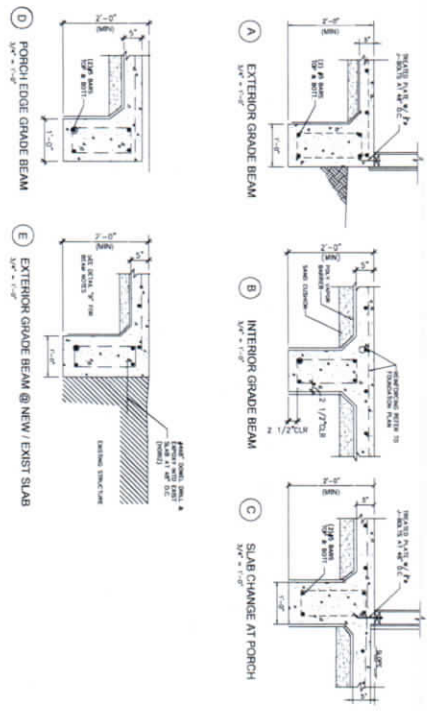
MARKER	SIZE	REMARKS
1	3'-0" x 6'-0" x 3/4"	EXTENSION
2	2'-0" x 6'-0" x 3/4"	EXTENSION
3	3'-0" x 6'-0" x 3/4"	INTERIOR
4	2'-0" x 6'-0" x 3/4"	INTERIOR
5	2'-0" x 6'-0" x 3/4"	INTERIOR
6	4'-0" x 6'-0" x 3/4"	INTERIOR (B-FIELD)
7	2'-0" x 6'-0" x 3/4"	INTERIOR

ALL WINDOWS TO MEET AISC (NATIONAL FIRE PROTECTION ASSOCIATION) TYPE 1. ALL DOORS & PARTITIONS WITH GLASS SHALL MEET SCQUM HEAT SOAK EQUIVALENT OF 225. OR MORE BTU PER SQUARE FOOT PER HOUR. AND 1/2\"/>

MARKER	SIZE	REMARKS
1	3'-0" x 6'-0" x 3/4"	EXTENSION
2	2'-0" x 6'-0" x 3/4"	EXTENSION
3	3'-0" x 6'-0" x 3/4"	INTERIOR
4	2'-0" x 6'-0" x 3/4"	INTERIOR
5	2'-0" x 6'-0" x 3/4"	INTERIOR
6	4'-0" x 6'-0" x 3/4"	INTERIOR (B-FIELD)
7	2'-0" x 6'-0" x 3/4"	INTERIOR

LEGEND	REMARKS
1	REMOVE EXISTING LIVING FLOOR AREA
2	LIVING AREA
3	FLOOR FINISH
4	1.577 SQ. FT.
5	1.577 SQ. FT.
6	1.577 SQ. FT.
7	1.577 SQ. FT.

3012 Elm Park
 RICHLAND HILLS, TEXAS 76118
 NEW ADDITION AND REMODELING
 DATE: 10/15/2018
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]
 PROJECT NAME: FLOOR PLAN (REVISE)
 EXTERIOR ELEVATION (REVISE)
 SHEET NO.: A3.0

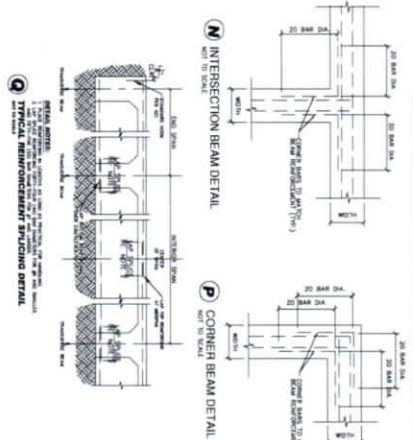


CONCRETE NOTES

1. ALL STRUCTURAL CONCRETE SHALL BE CLASSIFIED AS NORMAL WEIGHT CONCRETE WITH A UNIT WEIGHT OF 145 LB/CU. FT. CONCRETE MEMBERS SHALL NOT BE LOADED UNTIL THE SPECIFIED CONCRETE STRENGTH HAS BEEN ACHIEVED.
2. ALL CONCRETE SHALL BE CAST WITH AN AIR ENTRAINMENT AGENT TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH AS SHOWN ON THE PLANS WITH A MAXIMUM OF 5% SLUMP.
3. ALL CAST-IN-PLACE CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 308.
4. ALL REINFORCING FABRICATION, JOINTS AND ALL TYPES OF STEEL REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE REINFORCING FABRICATION PRACTICES SHOWN ON THE PLANS.
5. CONCRETE REINFORCING REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60 BARS.
6. MINIMUM COVERAGE OF REINFORCING STEEL:
 - a. CONCRETE CAST AGAINST FORM: 2" CLEAR TO STEEL
 - b. CONCRETE CAST AGAINST FORM: 1" CLEAR TO STEEL
 - c. GRADE BEAMS: 2" TOP, 3" BOTTOM
7. GRADE BEAMS SHALL BE CAST WITH REINFORCEMENT AS INDICATED ON THE PLANS. BEAMS MAY BE TRENCH FURRED WITH 2" CLEAR SPACES. JOINTS AND CORNERS SHALL BE TAKEN TO PREVENT SLOTTING OF TRENCH SIDES. VAPOR BARRIER SHALL BE FOLDED INTO TRENCH TO WITHIN TWO INCHES OF TRENCH BOTTOM. DETAIL REINFORCING AND CORNER DIMS SHALL BE SHOWN IN THE DETAIL BEAM BOTTOMS. SHALL BE FOUNDATION AT LEAST 6" OF UNDISTURBED SOIL OR PROPERLY COMPACTED FILL. BEAMS MAY BE DEEPENED IF NECESSARY TO FULFILL THIS REQUIREMENT.

FOUNDATION GENERAL NOTES

1. NOTED FOR ALL BEAMS SHALL EXTEND 6" INTO UNDISTURBED SOIL OR A MINIMUM 12" BELOW FINISH GRADE.
 2. LAP ALL BARS STEEL 40 DIAMETERS.
 3. FOR SLAB LENGTHS GREATER THAN 50' PROVIDE 1.5D IN BOTTOM AND 2.5D IN TOP OF ALL CONCRETE BEAMS.
 4. ALL BEAMS SHALL BE CAST WITH REINFORCEMENT AS SHOWN ON THE PLANS.
 5. ALL BEAMS AND SLAB STEEL SHALL EXTEND TO WITHIN 1.17' OF EXTERIOR FORMS.
 6. BARS SHALL BE SUPPLIED AND TIED EVERY 4'-0".
- FOUNDATION NOTES**
1. THESE BEAM LOCATIONS TO BE VERIFIED BY OWNER.
 2. REFER TO FLOOR PLAN AND ELEVATIONS FOR PLAN DETAILS.
 3. ALL BEAMS SHALL BE CAST WITH REINFORCEMENT AS SHOWN ON-SITE PRIOR TO POURING CONCRETE.



Scott Alwood, PE
 12-06-2023
 Axiom Management & Engineering, Inc
 PO Box 6460, Fort Worth, TX 76115
 817-994-5420
 Firm #F-3854

STATE OF TEXAS
 SCOTT ALWOOD
 70851
 NOVEMBER 18, 2023

PROJECT NO. **S1.0**

DATE: 12-06-2023

REVISIONS:

ISSUE DATE: NOVEMBER 18, 2023

PROJECT NAME: **FOUNDATION PLAN**

FOUNDATION DETAILS

NEW ADDITION AND REMODELING

3012 Elm Park
 RICHLAND HILLS, TEXAS 76118

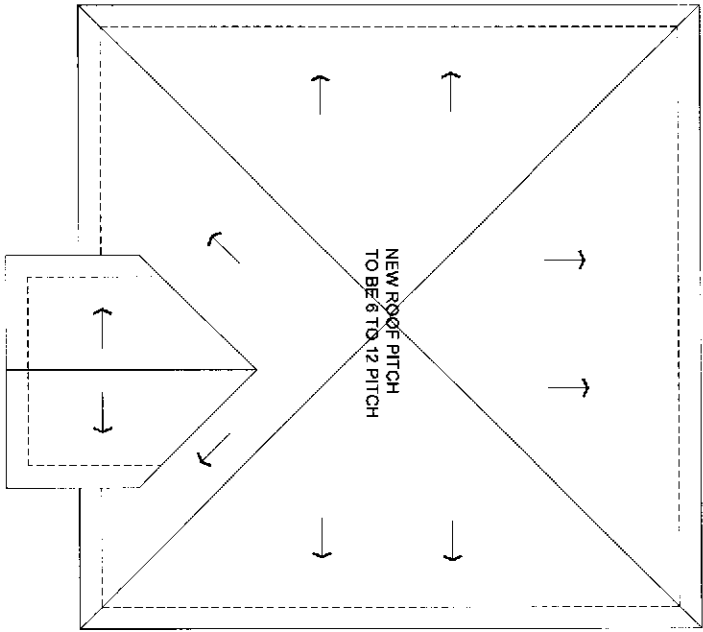
DESIGNED BY: [Signature]

CHECKED BY: [Signature]

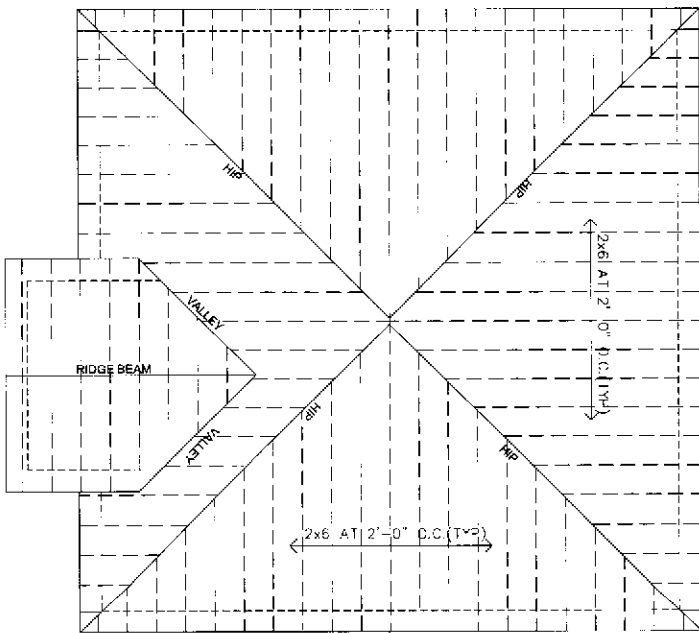
APPROVED BY: [Signature]

PROJECT ENGINEER: [Signature]

REGISTERED PROFESSIONAL ENGINEER
 IN THE STATE OF TEXAS
 NO. 12345



ROOF PLAN (Revise)
NOT SCALE



FRAMING PLAN
1/8" = 1'-0"
NOTE: CONVENTIONAL FRAMING

NOTE: Engineer Stamp on this page for Roof Diagram only. Changes to any other schematic drawing on this page shall be allowed without engineers consent or approval.

INCLUDES CONSULTING
DRAWING STAMP
FOR THE STATE OF TEXAS
FOR PROFESSIONAL ARCHITECTS
FOR ARCHITECTS
FOR ENGINEERS

ARCHITECT & ENGINEER
CONSULTANTS
1100 W. WASHINGTON
FORT WORTH, TEXAS 76102

NEW ADDITION AND REMODELING
3012 Elm Park
RICHLAND HILLS, TEXAS 76118

DATE: 12-08-2023

REVISIONS:

SHEET NAME:
ROOF FRAMING
& FRAMING

SHEET NO.:

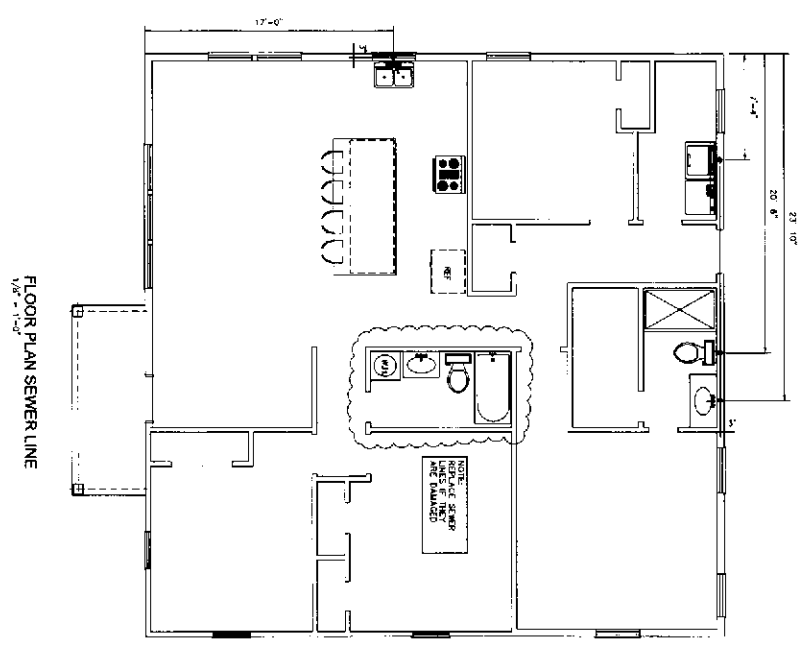
S2.0

Scott Anwood, PE
12-08-2023

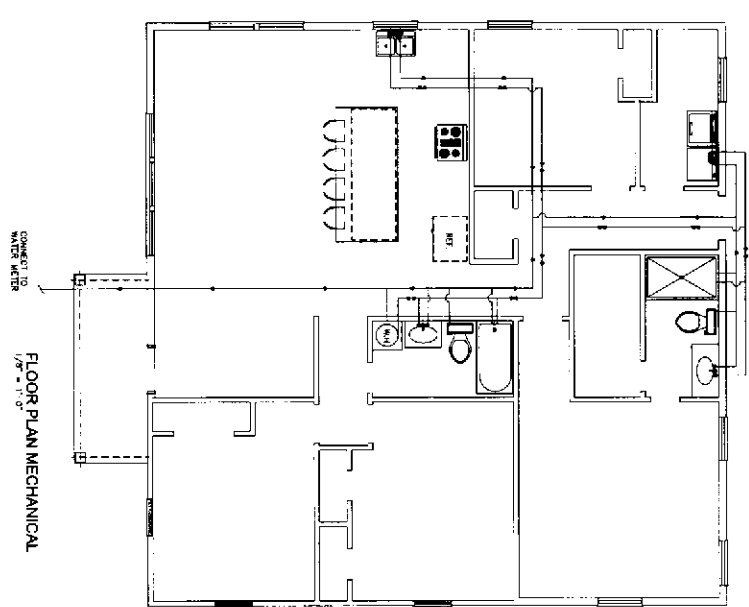
118853

Axiom Management & Engineering, Inc
PO Box 6460, Fort Worth, TX 76115
817-994-5420
Firm #F-3854

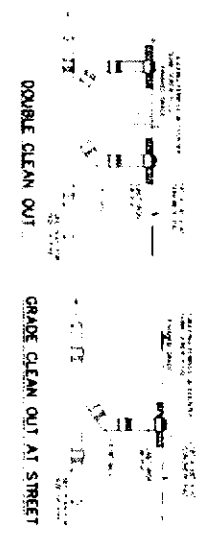




FLOOR PLAN SEWER LINE
1/8" = 1'-0"



FLOOR PLAN MECHANICAL
1/8" = 1'-0"



EXAMINED AND APPROVED:
 [Signature]
 [Title]

GENERAL NOTES:

1. EXAMINE ALL UTILITIES AND RECORDS.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL ELECTRICAL PLUMBING (IM) CODE AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 90A, 90B, 90C, 90D, 90E, 90F, 90G, 90H, 90I, 90J, 90K, 90L, 90M, 90N, 90O, 90P, 90Q, 90R, 90S, 90T, 90U, 90V, 90W, 90X, 90Y, 90Z, 90AA, 90AB, 90AC, 90AD, 90AE, 90AF, 90AG, 90AH, 90AI, 90AJ, 90AK, 90AL, 90AM, 90AN, 90AO, 90AP, 90AQ, 90AR, 90AS, 90AT, 90AU, 90AV, 90AW, 90AX, 90AY, 90AZ, 90BA, 90BB, 90BC, 90BD, 90BE, 90BF, 90BG, 90BH, 90BI, 90BJ, 90BK, 90BL, 90BM, 90BN, 90BO, 90BP, 90BQ, 90BR, 90BS, 90BT, 90BU, 90BV, 90BW, 90BX, 90BY, 90BZ, 90CA, 90CB, 90CC, 90CD, 90CE, 90CF, 90CG, 90CH, 90CI, 90CJ, 90CK, 90CL, 90CM, 90CN, 90CO, 90CP, 90CQ, 90CR, 90CS, 90CT, 90CU, 90CV, 90CW, 90CX, 90CY, 90CZ, 90DA, 90DB, 90DC, 90DD, 90DE, 90DF, 90DG, 90DH, 90DI, 90DJ, 90DK, 90DL, 90DM, 90DN, 90DO, 90DP, 90DQ, 90DR, 90DS, 90DT, 90DU, 90DV, 90DW, 90DX, 90DY, 90DZ, 90EA, 90EB, 90EC, 90ED, 90EE, 90EF, 90EG, 90EH, 90EI, 90EJ, 90EK, 90EL, 90EM, 90EN, 90EO, 90EP, 90EQ, 90ER, 90ES, 90ET, 90EU, 90EV, 90EW, 90EX, 90EY, 90EZ, 90FA, 90FB, 90FC, 90FD, 90FE, 90FF, 90FG, 90FH, 90FI, 90FJ, 90FK, 90FL, 90FM, 90FN, 90FO, 90FP, 90FQ, 90FR, 90FS, 90FT, 90FU, 90FV, 90FW, 90FX, 90FY, 90FZ, 90GA, 90GB, 90GC, 90GD, 90GE, 90GF, 90GG, 90GH, 90GI, 90GJ, 90GK, 90GL, 90GM, 90GN, 90GO, 90GP, 90GQ, 90GR, 90GS, 90GT, 90GU, 90GV, 90GW, 90GX, 90GY, 90GZ, 90HA, 90HB, 90HC, 90HD, 90HE, 90HF, 90HG, 90HH, 90HI, 90HJ, 90HK, 90HL, 90HM, 90HN, 90HO, 90HP, 90HQ, 90HR, 90HS, 90HT, 90HU, 90HV, 90HW, 90HX, 90HY, 90HZ, 90IA, 90IB, 90IC, 90ID, 90IE, 90IF, 90IG, 90IH, 90II, 90IJ, 90IK, 90IL, 90IM, 90IN, 90IO, 90IP, 90IQ, 90IR, 90IS, 90IT, 90IU, 90IV, 90IW, 90IX, 90IY, 90IZ, 90JA, 90JB, 90JC, 90JD, 90JE, 90JF, 90JG, 90JH, 90JI, 90JJ, 90JK, 90JL, 90JM, 90JN, 90JO, 90JP, 90JQ, 90JR, 90JS, 90JT, 90JU, 90JV, 90JW, 90JX, 90JY, 90JZ, 90KA, 90KB, 90KC, 90KD, 90KE, 90KF, 90KG, 90KH, 90KI, 90KJ, 90KK, 90KL, 90KM, 90KN, 90KO, 90KP, 90KQ, 90KR, 90KS, 90KT, 90KU, 90KV, 90KW, 90KX, 90KY, 90KZ, 90LA, 90LB, 90LC, 90LD, 90LE, 90LF, 90LG, 90LH, 90LI, 90LJ, 90LK, 90LL, 90LM, 90LN, 90LO, 90LP, 90LQ, 90LR, 90LS, 90LT, 90LU, 90LV, 90LW, 90LX, 90LY, 90LZ, 90MA, 90MB, 90MC, 90MD, 90ME, 90MF, 90MG, 90MH, 90MI, 90MJ, 90MK, 90ML, 90MN, 90MO, 90MP, 90MQ, 90MR, 90MS, 90MT, 90MU, 90MV, 90MW, 90MX, 90MY, 90MZ, 90NA, 90NB, 90NC, 90ND, 90NE, 90NF, 90NG, 90NH, 90NI, 90NJ, 90NK, 90NL, 90NM, 90NO, 90NP, 90NQ, 90NR, 90NS, 90NT, 90NU, 90NV, 90NW, 90NX, 90NY, 90NZ, 90OA, 90OB, 90OC, 90OD, 90OE, 90OF, 90OG, 90OH, 90OI, 90OJ, 90OK, 90OL, 90OM, 90ON, 90OO, 90OP, 90OQ, 90OR, 90OS, 90OT, 90OU, 90OV, 90OW, 90OX, 90OY, 90OZ, 90PA, 90PB, 90PC, 90PD, 90PE, 90PF, 90PG, 90PH, 90PI, 90PJ, 90PK, 90PL, 90PM, 90PN, 90PO, 90PP, 90PQ, 90PR, 90PS, 90PT, 90PU, 90PV, 90PW, 90PX, 90PY, 90PZ, 90QA, 90QB, 90QC, 90QD, 90QE, 90QF, 90QG, 90QH, 90QI, 90QJ, 90QK, 90QL, 90QM, 90QN, 90QO, 90QP, 90QQ, 90QR, 90QS, 90QT, 90QU, 90QV, 90QW, 90QX, 90QY, 90QZ, 90RA, 90RB, 90RC, 90RD, 90RE, 90RF, 90RG, 90RH, 90RI, 90RJ, 90RK, 90RL, 90RM, 90RN, 90RO, 90RP, 90RQ, 90RR, 90RS, 90RT, 90RU, 90RV, 90RW, 90RX, 90RY, 90RZ, 90SA, 90SB, 90SC, 90SD, 90SE, 90SF, 90SG, 90SH, 90SI, 90SJ, 90SK, 90SL, 90SM, 90SN, 90SO, 90SP, 90SQ, 90SR, 90SS, 90ST, 90SU, 90SV, 90SW, 90SX, 90SY, 90SZ, 90TA, 90TB, 90TC, 90TD, 90TE, 90TF, 90TG, 90TH, 90TI, 90TJ, 90TK, 90TL, 90TM, 90TN, 90TO, 90TP, 90TQ, 90TR, 90TS, 90TT, 90TU, 90TV, 90TW, 90TX, 90TY, 90TZ, 90UA, 90UB, 90UC, 90UD, 90UE, 90UF, 90UG, 90UH, 90UI, 90UJ, 90UK, 90UL, 90UM, 90UN, 90UO, 90UP, 90UQ, 90UR, 90US, 90UT, 90UU, 90UV, 90UW, 90UX, 90UY, 90UZ, 90VA, 90VB, 90VC, 90VD, 90VE, 90VF, 90VG, 90VH, 90VI, 90VJ, 90VK, 90VL, 90VM, 90VN, 90VO, 90VP, 90VQ, 90VR, 90VS, 90VT, 90VU, 90VV, 90VW, 90VX, 90VY, 90VZ, 90WA, 90WB, 90WC, 90WD, 90WE, 90WF, 90WG, 90WH, 90WI, 90WJ, 90WK, 90WL, 90WM, 90WN, 90WO, 90WP, 90WQ, 90WR, 90WS, 90WT, 90WU, 90WV, 90WW, 90WX, 90WY, 90WZ, 90XA, 90XB, 90XC, 90XD, 90XE, 90XF, 90XG, 90XH, 90XI, 90XJ, 90XK, 90XL, 90XM, 90XN, 90XO, 90XP, 90XQ, 90XR, 90XS, 90XT, 90XU, 90XV, 90XW, 90XX, 90XY, 90XZ, 90YA, 90YB, 90YC, 90YD, 90YE, 90YF, 90YG, 90YH, 90YI, 90YJ, 90YK, 90YL, 90YM, 90YN, 90YO, 90YP, 90YQ, 90YR, 90YS, 90YT, 90YU, 90YV, 90YW, 90YX, 90YY, 90YZ, 90ZA, 90ZB, 90ZC, 90ZD, 90ZE, 90ZF, 90ZG, 90ZH, 90ZI, 90ZJ, 90ZK, 90ZL, 90ZM, 90ZN, 90ZO, 90ZP, 90ZQ, 90ZR, 90ZS, 90ZT, 90ZU, 90ZV, 90ZW, 90ZX, 90ZY, 90ZZ.

PROJECT NO. P0.1

<p>FOR CONTRACTOR'S USE ONLY</p> <p>DATE: []</p> <p>BY: []</p>	<p>3012 Elm Park RICHLAND HILLS, TEXAS 76118</p>	<p>NEW ADDITION AND REMODELING</p>
<p>DATE: []</p> <p>BY: []</p>	<p>3012 Elm Park RICHLAND HILLS, TEXAS 76118</p>	<p>NEW ADDITION AND REMODELING</p>
<p>DATE: []</p> <p>BY: []</p>	<p>3012 Elm Park RICHLAND HILLS, TEXAS 76118</p>	<p>NEW ADDITION AND REMODELING</p>

2.03.03 SF-7 Single-Family Residential.



(A) Character description. The SF-7 Single-Family Residential District is a single-family housing district in the city with the most dense single-family homes at about four to five homes per acre. Development in this district is limited primarily to single-family dwellings and certain community and recreational facilities to serve residents of the district.

(B) Permitted uses. Uses permitted in this district are outlined in section 3.02 Use Chart.

(C) Other regulations.

Section 4.01 Off-Street Parking and Loading Requirements

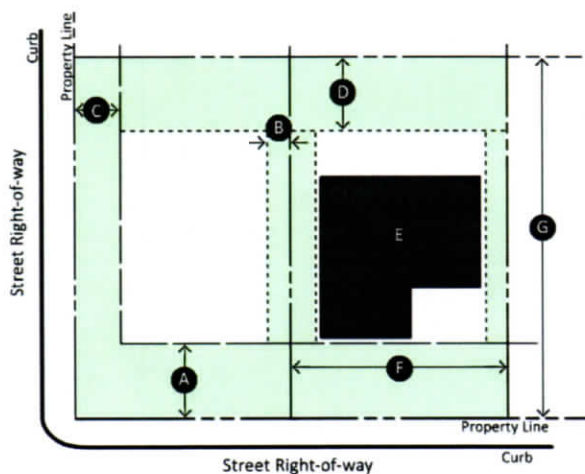
Section 4.02 Accessory Structure Standards

Section 4.03 Supplementary Regulations

Section 4.04 Performance Standards

Other Supplementary Ordinances

(D) Area regulations



SF-7 Single-Family Residential		
	Height	35' maximum
(A)	Front Yard	25' minimum
(B)	Side Yard - Interior	8' minimum
(C)	Side Yard - Street	15' minimum
(D)	Rear Yard	25' minimum
(E)	Building Size	1,400 sq. ft. minimum
(F)	Lot Width	60' minimum
(G)	Lot Depth	100' minimum
	Lot Size	7,000 sq. ft. minimum
	Lot Coverage	40% maximum

Section 6.12 - Zoning Variance

6.12.01. Purpose and Applicability

- (A) *Cases for which a zoning variance may be granted.* The zoning board of adjustment may authorize a variance from the development regulations in this Zoning Ordinance such as the height (including number of stories), yard (including setbacks), lot area, lot coverage, structures (including size, density and location), parking requirements, performance standards and other development regulations contained herein.
- (B) *Variance criteria.* No zoning variance shall be granted without first having given public notice and having held a public hearing on the zoning variance request in accordance with section 6.03.02. Public Hearings and Notification Requirements for Zoning Related Applications, and unless the board of adjustment finds all the following criteria are met:
- (1) *Unique circumstances.* That there are special circumstances or conditions affecting the land involved such that the application of the Zoning Ordinance's provisions would deprive the applicant of the reasonable use of his/her land.
 - (2) *Minimum necessary relief required to alleviate the undue hardship.* The zoning variance, if granted, would be the minimum necessary relief required to alleviate the undue hardship.
 - (3) *Preservation of property rights.* That the zoning variance is necessary for the preservation and enjoyment of a substantial property right of the applicant.
 - (4) *No substantial detriment to the public good.* That the granting of the zoning variance will not be detrimental to the public health, safety or welfare, impair the purposes and intent of this Zoning Ordinance and the comprehensive plan or be injurious to other property within the area.
 - (5) *Orderly use of land.* That the granting of the zoning variance will not have the effect of preventing the orderly use of other land within the area in accordance with the provisions of this Zoning Ordinance.
 - (6) *Precedent.* The granting of an individual zoning variance will not set a precedent.
 - (7) *Finding of undue hardship.* In order to grant a zoning variance, the board of adjustment must make findings that an undue hardship exists, using the following criteria:
 - (a) That literal enforcement of the controls will create an undue hardship or practical difficulty in the development of the affected property; and
 - (b) That the situation causing the hardship or difficulty is neither self-imposed nor generally affecting all or most properties in the same zoning district; and

- (c) That the relief sought will not injure the permitted use of adjacent conforming property; and
- (d) That the granting of a zoning variance will be in harmony with the spirit and purpose of these regulations.
- (e) Financial hardship alone is not an "undue hardship" if the property can be used, meeting the requirements of the zoning district in which the property is located.

(C) *Variance limitations*

- (1) *Completed action required before a variance.* An application or request for a variance shall not be heard or granted with regard to any parcel of property or portion thereof upon which a site plan, preliminary plat, or final plat, when required by the Zoning Ordinance or the subdivision ordinance for any parcel of property or portion thereof, has not been finally acted upon by both the planning and zoning commission and, where required, by the city council.
- (2) *Exhausted all other options.* The administrative procedures and requirements of the Zoning Ordinance, and any amendments thereto, with regard to both the planning and zoning commission and city council consideration and action on site plans, preliminary plats, and final plats, must be exhausted prior to requesting a variance.

(D) *Public hearing required*

- (1) The board of adjustment shall hold a public hearing for each variance applicant and shall provide the notice and public hearing required by this Ordinance.
- (2) At the public hearing, the board of adjustment shall consider public comments, the zoning administrator's recommendation, and other applicable information and shall approve, approve with conditions, or deny the variance application.

(E) *Concurring vote of 75 percent required.* Pursuant to V.T.C.A., Local Government Code § 211.009(c), the concurring vote of 75 percent of the members of the board of adjustment is necessary to grant a zoning variance.

(Ord. No. 1273-14, § 1(Exh. A), 5-6-2014; Ord. No. 1296-15, § 2(Exh. A), 8-18-2015)

Memorandum

To: Richland Hills Zoning Board of Adjustment

From: JP Ducay, Director of Planning & Development Services

Date: April 2, 2024

Subject: Zoning Variance Request for 2821 Elm Park

Agenda Item:

Consider ZBA 2024-0128, a request for a variance to decrease the side yard setback requirement and allow for an oversized carport for the property described as Lot 5, Block 18, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 2821 Elm Park, Richland Hills, Texas 76118. **PUBLIC HEARING**

Background Information:

The property at 2821 Elm Park is a 7,500 square-foot lot with a 1,050 square-foot single-family residence located in the SF-7 zoning district. The applicant for this property is Jeremie Bosques Mendez.

According to **Section 4.02(C) Accessory Structure Standards – Carports:**

- (1.b.) A carport shall be setback five feet from the side property line.
- (2.b.) The roof assembly of a carport shall not exceed 25 feet in length or 25 feet in width. The inside vertical clearance of a carport shall not be less than seven feet, nor more than nine feet.

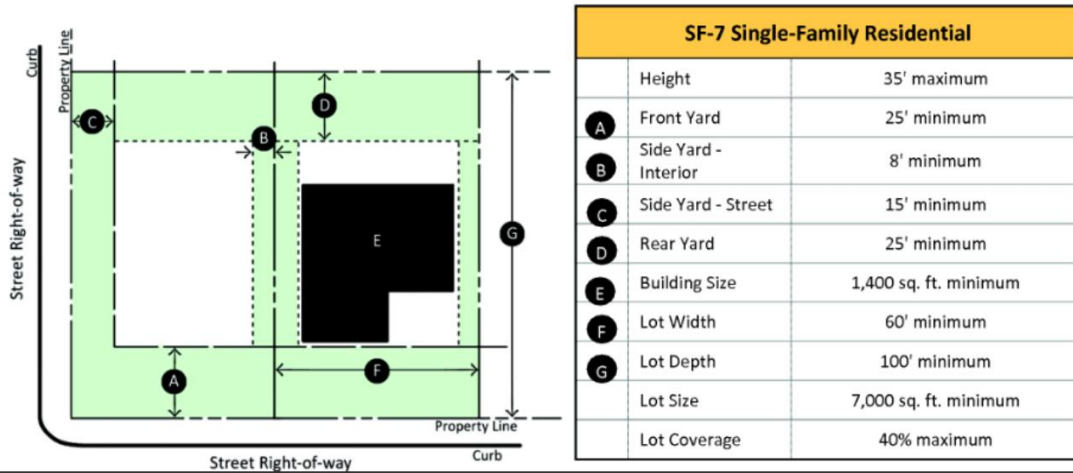
In October 2023, the applicant constructed a carport on the subject property without proper permits. In February 2024, during a routine city assessment, the Code Compliance department recognized the newly constructed carport. After a site inspection, it was determined that the carport was not in compliance with location and size requirements. The subject carport is 10 feet tall with a roof assembly of 36 feet in length and 15 feet in width. The carport was also constructed one foot off the side yard property line. The applicant was informed that the carport would either need to be taken down or variances would need to be granted for any zoning violations.

The applicant is requesting the following variances:

1. Decrease the side yard setback of five feet (5') to one foot (1').
2. Increase the roof assembly length of 25 feet to 36 feet.
3. Increase the vertical clearance maximum of nine feet (9') to 10 feet.

Zoning Map:

(D) Area regulations.



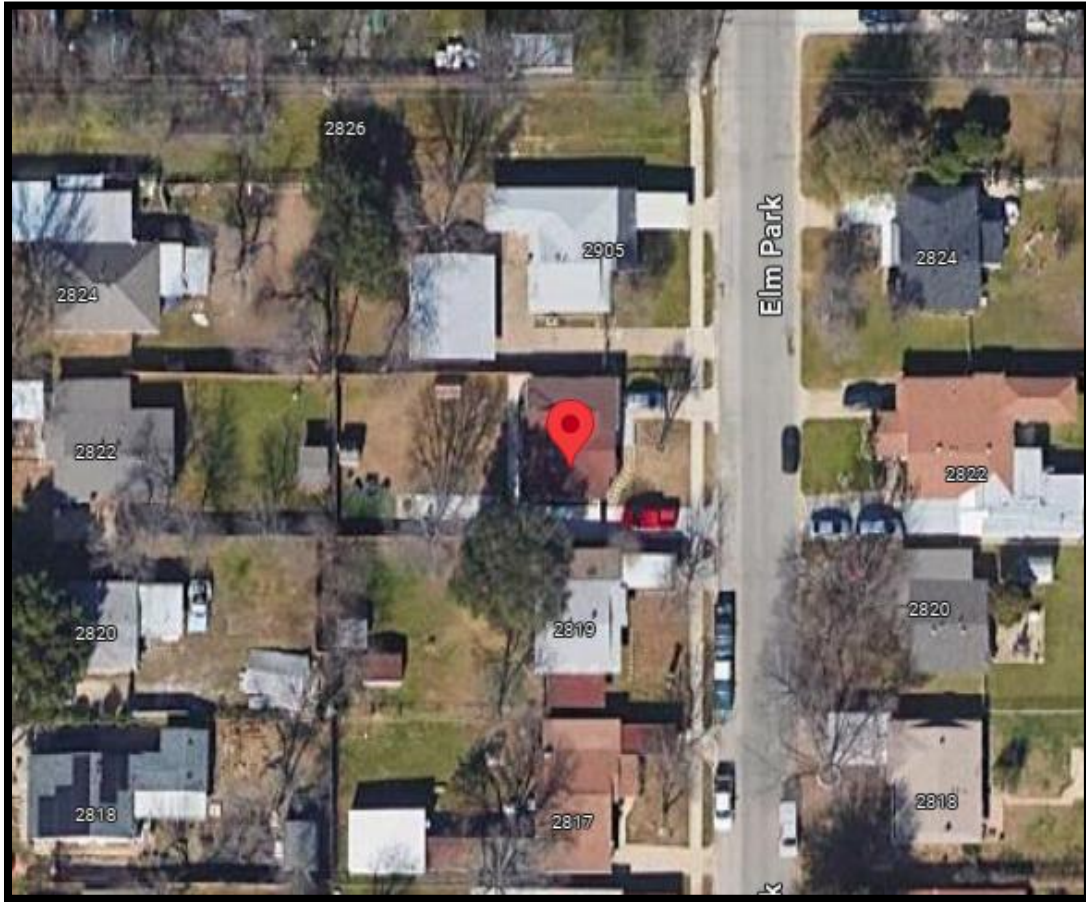
Attachments:

- Property Photos
- Proposed Plans
- Section 6.12 – Zoning Variance

Motion:

Motion to *(approve/deny)* ZBA 2024-0128, a request for a variance to decrease the side yard setback requirement and allow for an oversized carport for the property described as Lot 5, Block 18, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 2821 Elm Park, Richland Hills, Texas 76118.

2821 Elm Park Property Photos





Richland Hills Development Services

3200 Diana Drive | Richland Hills, TX, 76118
817-616-3800 | richlandhills.com

Zoning Board of Adjustment Application

Application Type

- Special Exception - Zoning
 Special Exception - Sign
 Variance

Property Owner Information

Name: Jeremie Bosques Mendez
 Address: 2821 Elm Park, Richland Hills TX 76118
 Phone: 787 410 6093 Email Address: barbarasp9@gmail.com

I, the undersigned owner or authorized agent of the following described real property, located in the City of Richland Hills, Texas, hereby make application for a request for a special exception/variance from Section _____ of the Richland Hills Code of Ordinances.

Signature: [Signature] Date: 2/18/24

Applicant/Tenant Information

Name: Jeremie Bosques Mendez
 Address: 2821 Elm Park Richland Hills TX 76118
 Phone: 787 410 6093 Email Address: barbarasp9@gmail.com

Detailed description of request: Carport

Acknowledgement

I have read this application form and understand that filing the application does not guarantee an affirmative action by the Zoning Board of Adjustment. I further understand that at least four (4) affirmative votes must be cast in order to receive a special exception or variance.

Signature: [Signature] Date: 2/18/24

For Office Use Only	
Received by: <u>VRangel</u>	Fee Paid: <u>\$300.00</u>
Approved by: _____	Date: _____
Comments: <u>Fee waived</u>	Case Number: <u>20240128</u>



Zoning Board of Adjustment Application

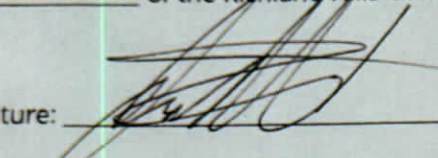
Application Type

- Special Exception - Zoning
 Special Exception - Sign
 Variance

Property Owner Information

Name: Jeremie Bosques Mender
 Address: 2801 Elm Park Richland Hills TX 76118
 Phone: 787 410 6093 Email Address: barbarasp9@gmail.com

I, the undersigned owner or authorized agent of the following described real property, located in the City of Richland Hills, Texas, hereby make application for a request for a special exception/variance from Section _____ of the Richland Hills Code of Ordinances.

Signature:  Date: 2/18/24


Applicant/Tenant Information

Name: Jeremie Bosques Mender
 Address: 2801 Elm Park Richland Hills TX 76118
 Phone: 787 410 6093 Email Address: barbarasp9@gmail.com

Detailed description of request: Allowed size dimensions exceeded

Acknowledgement

I have read this application form and understand that filing the application does not guarantee an affirmative action by the Zoning Board of Adjustment. I further understand that at least four (4) affirmative votes must be cast in order to receive a special exception or variance.

Signature:  Date: 2/18/24

For Office Use Only

Received by: _____ Fee Paid: _____ Case Number: _____
 Approved by: _____ Date: _____



Richland Hills Development Services

3200 Diana Drive | Richland Hills, TX, 76118
817-616-3800 | richlandhills.com

Zoning Board of Adjustment Application

Application Type

- Special Exception - Zoning
 Special Exception - Sign
 Variance

Property Owner Information

Name: Jeremie Bosques Mender
 Address: 2821 Elm Park Richland Hills TX 76118
 Phone: 7810 6093 Email Address: barbarasp9@gmail.com

I, the undersigned owner or authorized agent of the following described real property, located in the City of Richland Hills, Texas, hereby make application for a request for a special exception/variance from Section _____ of the Richland Hills Code of Ordinances.

Signature: Date: 2/18/24

Applicant/Tenant Information

Name: Jeremie Bosques Mender
 Address: 2821 Elm Park Richland Hills TX 76118
 Phone: 7810 6093 Email Address: barbarasp9@gmail.com

Detailed description of request: side yard setback encroachment

Acknowledgement

I have read this application form and understand that filing the application does not guarantee an affirmative action by the Zoning Board of Adjustment. I further understand that at least four (4) affirmative votes must be cast in order to receive a special exception or variance.

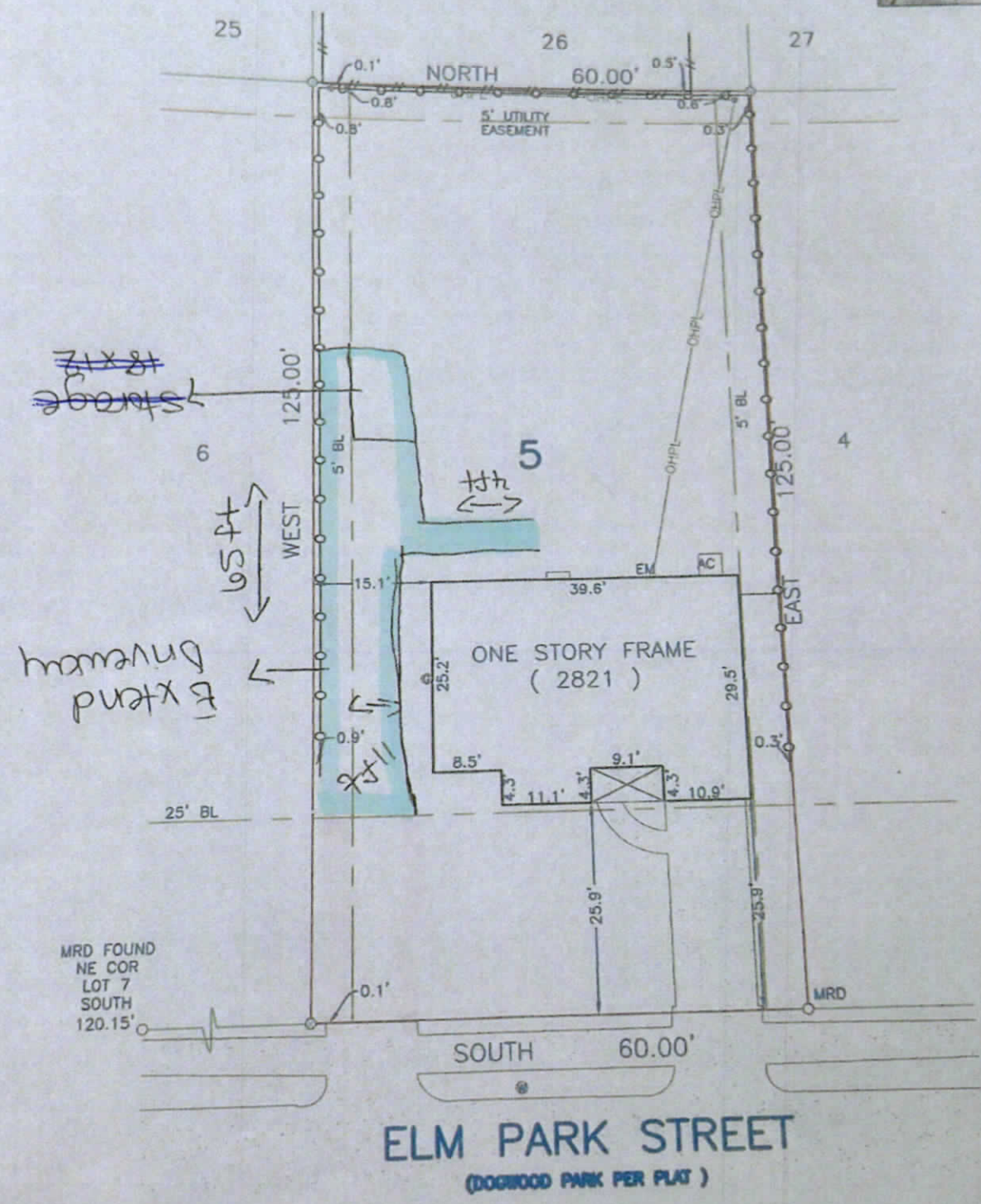
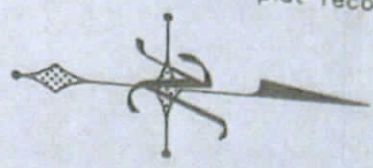
Signature: Date: 2/18/24

For Office Use Only

Received by: _____ Fee Paid: _____ Case Number: _____

Approved by: _____ Date: _____

according to the plat recorded in Volume 388-G, Page 163, Plat Records, Tarrant County, Texas.



~~18x8~~
Storage
65 ft
Extend Driveway

ELM PARK STREET
(DOGWOOD PARK PER PLAT)

PROPERTY SUBJECT TO
EASEMENTS & RESTRICTIONS
VOL 388-G, PG. 67
VOL 388-G, PG. 163
VOL 15762, PG. 162

ACCEPTED BY: _____

PROVIDENCE
TITLE

LEGEND	
WOOD FENCE	--- TEXT
CHAIN LINK	--- IMPROVEMENTS
IRON FENCE	--- BOUNDARY LINE

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as shown on the plat; the size, location and type of building and improvements



- (a) For accessory structures equal to or less than 440 square feet, exterior wood and metal siding with a baked-on enamel finish are permitted. Corrugated metal siding is not permitted.
 - (b) Construction materials for accessory structures with a floor area over 440 square feet must comply with the exterior building material requirements for a main structure.
- (B) Nonresidential accessory structures. Accessory buildings must adhere to the following requirements:
- (1) Dimensions.
 - (a) An accessory structure shall not exceed a height of 15 feet.
 - (b) An accessory structure shall not exceed 50 percent of the floor area of the principal building. If more than one accessory structure is located on the property, the total floor area of all accessory structures shall not exceed 50 percent of the floor area of the principal building.
 - (c) Accessory structures shall be included in the lot coverage calculations.
 - (2) Location.
 - (a) Accessory structures shall meet the following setback requirements:
 - 1. Front. The front setback shall be behind the front of the principal structure building face.
 - 2. Rear. The rear setback shall be five feet from the property line or out of easement, whichever establishes a greater setback.
 - 3. Side. The side setback shall be five feet from the property line or out of easement, whichever establishes a greater setback, for interior lots, and 15 feet from the property line where a lot is adjacent to a side street.
 - (b) No accessory structure shall be located in front of the principal structure building face.
 - (c) Accessory structures are prohibited in easements.
 - (d) Accessory structures must maintain a minimum separation of ten feet between exterior walls.
 - (3) Number.
 - (a) No more than one accessory structure use permitted on a single property.
 - (4) Materials.
 - (a) All accessory structures in nonresidential zoning districts must comply with the exterior building material requirements for a main structure.
- (C) Carports.
- (1) Location. Locational requirements for carports within the city shall be as follows:
 - (a) Front. An attached carport may extend beyond the front building line (setback line), but in no case shall the structure extend more than 25 feet from the point of attachment to the residence, or encroach upon the street right-of-way or any easement.
 - (b) Side. A carport shall be set back five feet from the side property line or out of easement, whichever establishes the greater setback.

Chapter 90. Zoning

Article 4. Site Development Requirements

§ 4.02. Accessory Structure Standards.

4.02.01 Accessory Structures. The following regulations apply to permanent accessory structures as outlined below in each section for residential accessory structures, nonresidential accessory structures, and carports:

(A) Residential accessory structure requirements (excluding carports). Accessory structures must adhere to the following requirements:

(1) Dimensions.

- (a) An accessory structure shall not exceed a height of 15 feet.
- (b) An accessory structure shall not exceed 50 percent of the floor area of the principal building. If more than one accessory structure is located on the property, the total floor area of all accessory structures shall not exceed 50 percent of the floor area of the principal building.
- (c) Accessory structures shall be included in the lot coverage calculations.

(2) Location.

- (a) Accessory structures shall meet the following setback requirements:
 - 1. Front. The front setback shall be behind the front of the principal structure building face.
 - 2. Rear. The rear setback shall be five feet from the property line or out of easement, whichever establishes a greater setback.
 - 3. Side. The side setback shall be five feet from the property line or out of easement, whichever establishes a greater setback, for interior lots, and 15 feet from the property line where a lot is adjacent to a side street.
- (b) No accessory structure shall be located in front of the principal structure building face.
- (c) Accessory structures are prohibited in easements.
- (d) Accessory structures must maintain a minimum separation of five feet between exterior walls.

(3) Number.

- (a) No more than two accessory structures are permitted on a single property.
- (b) Lots larger than 30,000 square feet may have up to three accessory structures.

(4) Materials.

- (c) Rear. A carport shall be set back five feet from the rear property line or out of easement, whichever establishes the greater setback.
- (2) Construction. Construction requirements for carports within the city shall be as follows:
 - (a) Parking surface. Carports must be erected over an approved surface.
 - (b) Size. The roof assembly of a carport shall not exceed 25 feet in length or 25 feet in width. The inside vertical clearance of a carport shall not be less than seven feet, nor more than nine feet.
 - (c) Roof.
 - 1. Roof design and pitch of a carport shall not exceed that of the main structure.
 - 2. Carport roofs, if metal, shall be corrosion-resistant aluminum or steel painted with a baked-on enamel finish or equivalent.
 - 3. Metal roof carports must have a minimum slope of one-fourth unit vertical and 12 units horizontal (two percent).
 - (d) Walls. Carports shall have at least two open exterior walls; however, no exterior wall may extend into the required front yard.
- (3) Storage. A carport located in front of the main building shall be used to store only vehicles, including recreational vehicles, boats and trailers. All vehicles must be registered. Carports in front of the main building shall not be used to store any other items.

4.02.02 Swimming Pools.

- (A) Requirements. The owner of a lot zoned as residential may construct one in-ground swimming pool, or one above ground swimming pool, but not both. The location of an above ground swimming pool will be subject to the setback requirements for residential accessory structures as provided in subsection 4.02.01.(A)(2) above. The location of an in-ground swimming pool shall conform to the following setback requirements:
 - (1) SF-E Single-Family Residential Estate District.
 - (a) Front. The front setback requirement for a swimming pool shall be the front building line established in this chapter for the applicable zoning district, provided, however, that in no case shall the pool be closer to the street than the front of the main structure.
 - (b) Side. The side setback requirement for a swimming pool shall be the side building line established in this chapter for the applicable zoning district.
 - (c) Rear. The rear setback requirement for a swimming pool shall be six feet.
 - (2) All other residential zones. The setback requirements for a swimming pool shall be the respective building lines established in this chapter for the applicable zoning district.
- (B) Measurement. All of the foregoing setback requirements shall be measured from that portion of the pool, including decking and mechanical and electrical equipment, closest to the applicable setback line.
- (C) Easements and safety codes. Notwithstanding any provision herein to the contrary, no pool shall encroach upon the street right-of-way or any utility easement. Furthermore, notwithstanding any provision herein to the contrary, no swimming pool shall be located so as to create or constitute a violation of any building or safety code adopted by the city, including without limitation the International Residential Code and the Uniform Electrical Code.

4.02.03 Temporary Occupancy Structures (Buildings).

- (A) Temporary buildings may be utilized by places of worship (churches), public schools, and government agencies only. See "Temporary Occupancy Building" definition.
- (B) Places of worship (churches), public schools (kindergarten (K) through 12th grade), and government agencies shall apply for a building permit and must meet all applicable city ordinances to erect a temporary building.

4.02.04 Flags and Flagpoles.

- (A) Scope. The regulations set out in this section apply to flags and detached flagpoles in all zoning districts.
- (B) Setbacks. The minimum setback from any property line, overhead utility line, or public right-of-way shall be a distance equal to the vertical distance from the ground to the top of the pole.
- (C) Number and size.
 - (1) Residential Zoning Districts.
 - (a) No more than one flagpole shall be allowed per platted lot.
 - (b) The height of the flagpole shall not exceed 25 feet, measured from the natural grade.
 - (c) No more than three flags may be displayed on the flagpole located on a lot.
 - (d) The size of the flag shall be appropriate for the height of the flag pole, but each individual flag shall in no event exceed 24 square feet in area.
 - (e) Small flags (not to exceed 24 square feet) mounted in stanchions on the face/eaves of buildings and flags that are displayed flush to the face of the building are not limited in number.
 - (2) Nonresidential and Multiple Family Zoning Districts.
 - (a) No more than three flagpoles shall be allowed per platted lot.
 - (b) The height of the flagpoles shall not exceed 30 feet, measured from the natural grade.
 - (c) No more than two flags may be displayed on the flagpole located on a platted lot.
 - (d) The size of the flag shall be appropriate for the height of the flag pole, but each individual flag shall in no event exceed 40 square feet in area.
- (D) Manner of display.
 - (1) Furcated poles with multiple mounting structures shall not be allowed.
 - (2) Flags and insignia of any government shall be displayed in an approved manner pursuant to federal guidelines in Title 4, United States Code, Chapter 1 (the Federal Flag Code).

4.02.05 Wind Energy Conversion Systems.

- (A) Farm or utility systems. Wind energy conversion systems, farm or utility shall be prohibited within the city.
- (B) Small systems. Wind energy conversion systems, small are permitted, subject to the following conditions:
 - (1) Accessory use. A small wind energy system is allowed as an accessory use in all residential zoning districts.
 - (2) General standards.
 - (a) Small wind energy systems are permitted only in the rear yard.

75 feet concrete

14 feet
Concrete

Carport
16 Feet

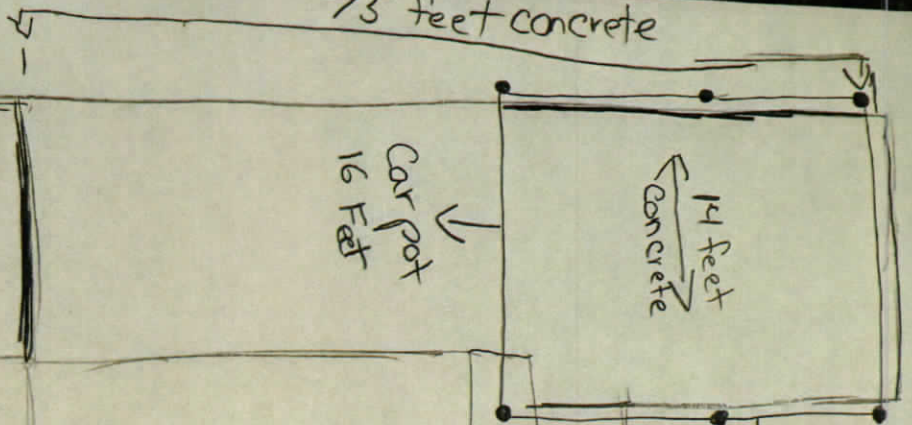
Carport 40 Feet

14.6 Feet

HOME

Driveway

2821 Elm Park
Richard Hills, TX 76118



* Address in question *

2821 Elm Park ↓

Built sometime between
March 2022 + Nov 2023



36 x 15

10 ft high

1 ft off side setback

lot coverage is under max

Exceeds dimensions height & setback



2815 Elm Park

Built to property line + exceeds length

2816 Elm Park



Built to property line + exceeds height



Built to property line + exceeds length

2817 Elm Park



Built to property line

2819 Elm Park



Richland Hills Development Services

3200 Diana Drive | Richland Hills, TX, 76118

817-616-3800 | richlandhills.com

Permit Application

Building

Electrical

Plumbing

Mechanical

Job Address: 2821 Elm Park Richland Hills Texas 76118

Date: 1:31:2024

Subdivision: Richland Pk Add

Lot: 5

Block: 18

Owner: Jeremie Bosques

Phone #: 7874106093

Owner Address: 2821 Elm Park Richland Hills Texas 76118

Contractor: Jeremie Bosques

Phone #: 7874106093

Contractor Email: bosquesjeremie@gmail.com

Type of Work: New Addition Alteration Repair Demolition

Description of work to be done (number and type of fixtures, equipment, etc.):

Driveway & Carport

Area of Building in Square Feet:

First Floor: _____ Second Floor: _____ Garage: _____ Other: ^X _____

Value of work to be performed: \$ 14,500

NOTICE

This permit becomes null and void if work or construction authorized is not commenced with **180 days**, or construction on work is suspended or abandoned for a period of **180 days** at any time after work is commenced.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction on the performance of construction.

Jeremie Bosques 1/31/2024
Signature of Contractor or Authorized Agent Date

Jeremie Bosques

Print Name

GRAY AREA FOR OFFICE USE ONLY

Permit Fee: \$150.00

Date:

Receipt #:

Zoning District: SF-7

Received by: ve

Occupancy Classification: Residential

Comments: Permit # 20240088

NO WORK TO BE PERFORMED
UNTIL PERMIT HAS BEEN APPROVED

Section 6.12 - Zoning Variance

6.12.01. Purpose and Applicability

- (A) *Cases for which a zoning variance may be granted.* The zoning board of adjustment may authorize a variance from the development regulations in this Zoning Ordinance such as the height (including number of stories), yard (including setbacks), lot area, lot coverage, structures (including size, density and location), parking requirements, performance standards and other development regulations contained herein.
- (B) *Variance criteria.* No zoning variance shall be granted without first having given public notice and having held a public hearing on the zoning variance request in accordance with section 6.03.02. Public Hearings and Notification Requirements for Zoning Related Applications, and unless the board of adjustment finds all the following criteria are met:
- (1) *Unique circumstances.* That there are special circumstances or conditions affecting the land involved such that the application of the Zoning Ordinance's provisions would deprive the applicant of the reasonable use of his/her land.
 - (2) *Minimum necessary relief required to alleviate the undue hardship.* The zoning variance, if granted, would be the minimum necessary relief required to alleviate the undue hardship.
 - (3) *Preservation of property rights.* That the zoning variance is necessary for the preservation and enjoyment of a substantial property right of the applicant.
 - (4) *No substantial detriment to the public good.* That the granting of the zoning variance will not be detrimental to the public health, safety or welfare, impair the purposes and intent of this Zoning Ordinance and the comprehensive plan or be injurious to other property within the area.
 - (5) *Orderly use of land.* That the granting of the zoning variance will not have the effect of preventing the orderly use of other land within the area in accordance with the provisions of this Zoning Ordinance.
 - (6) *Precedent.* The granting of an individual zoning variance will not set a precedent.
 - (7) *Finding of undue hardship.* In order to grant a zoning variance, the board of adjustment must make findings that an undue hardship exists, using the following criteria:
 - (a) That literal enforcement of the controls will create an undue hardship or practical difficulty in the development of the affected property; and
 - (b) That the situation causing the hardship or difficulty is neither self-imposed nor generally affecting all or most properties in the same zoning district; and

- (c) That the relief sought will not injure the permitted use of adjacent conforming property; and
- (d) That the granting of a zoning variance will be in harmony with the spirit and purpose of these regulations.
- (e) Financial hardship alone is not an "undue hardship" if the property can be used, meeting the requirements of the zoning district in which the property is located.

(C) *Variance limitations*

- (1) *Completed action required before a variance.* An application or request for a variance shall not be heard or granted with regard to any parcel of property or portion thereof upon which a site plan, preliminary plat, or final plat, when required by the Zoning Ordinance or the subdivision ordinance for any parcel of property or portion thereof, has not been finally acted upon by both the planning and zoning commission and, where required, by the city council.
- (2) *Exhausted all other options.* The administrative procedures and requirements of the Zoning Ordinance, and any amendments thereto, with regard to both the planning and zoning commission and city council consideration and action on site plans, preliminary plats, and final plats, must be exhausted prior to requesting a variance.

(D) *Public hearing required*

- (1) The board of adjustment shall hold a public hearing for each variance applicant and shall provide the notice and public hearing required by this Ordinance.
- (2) At the public hearing, the board of adjustment shall consider public comments, the zoning administrator's recommendation, and other applicable information and shall approve, approve with conditions, or deny the variance application.

(E) *Concurring vote of 75 percent required.* Pursuant to V.T.C.A., Local Government Code § 211.009(c), the concurring vote of 75 percent of the members of the board of adjustment is necessary to grant a zoning variance.

(Ord. No. 1273-14, § 1(Exh. A), 5-6-2014; Ord. No. 1296-15, § 2(Exh. A), 8-18-2015)