

**ZONING BOARD OF ADJUSTMENT  
MEETING AGENDA  
CITY HALL, 3200 DIANA DRIVE  
MAY 6, 2025, at 6:00 PM**

**1. CALL TO ORDER**

**2. EXECUTIVE SESSION**

**Executive Session:** Pursuant to the Open Meetings Act, Chapter 551, Texas Government Code, Section 551.071. **Executive Session may be held, under these exceptions, at any time during the meeting that a need arises for the Zoning Board of Adjustment to seek advice from the City Attorney as to the posted subject matter of this Zoning Board of Adjustment meeting.**

Reconvene into open session for possible action resulting from any items posted and legally discussed in Executive Session.

**3. PUBLIC COMMENTS**

This is the public's opportunity to address the Zoning Board of Adjustment on any matter not posted on the agenda. Citizen comments emailed to Lindsay Rawlinson ([lrawlinson@richlandhills.com](mailto:lrawlinson@richlandhills.com)) on an item either listed on this agenda or not listed on this agenda will be heard at this time.

**REGULAR AGENDA**

4. Approve minutes from the January 7, 2025, Zoning Board of Adjustment meeting.
5. Consider **ZBA 2024-0366**, a request for a zoning variance to decrease the side yard setback requirements for the property described as Lot 9, Block 7, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 7138 Maple Park Dr, Richland Hills, Texas 76118.  
**PUBLIC HEARING**

**6. ADJOURNMENT**

**CERTIFICATE**

I hereby certify that the above agenda was posted on this the 1<sup>st</sup> day of May 2025, by 5:30 p.m., on the official bulletin board at the Richland Hills City Hall, 3200 Diana Drive, Richland Hills, Texas.

*Lindsay Rawlinson*

Lindsay Rawlinson  
City Secretary



**ACCESSIBILITY STATEMENT**

The Facility is wheelchair accessible. If you plan to attend this meeting and you have a disability that requires special arrangements at the meeting, please notify the City Secretary 48 hours in advance of the meeting so that reasonable accommodations can be made. City of Richland Hills (817) 616-3810.

# Memorandum

To: Richland Hills Zoning Board of Adjustment

From: Lindsay Rawlinson, City Secretary

Date: May 6, 2025

Subject: Minutes from the January 7, 2025 Zoning Board of Adjustment Meeting

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## **Agenda Item:**

Approval of January 7, 2025 Zoning Board of Adjustment Meeting Minutes

## **Background Information:**

N/A

## **Financial Considerations:**

N/A

## **Legal Review:**

N/A

## **Board/Citizen Input:**

N/A

## **Attachments:**

January 7, 2025 Draft Minutes

## **Suggested Motion:**

Motion to approve the minutes from the January 7, 2025 Zoning Board of Adjustment meeting

**ZONING BOARD OF ADJUSTMENT  
JANUARY 7, 2025  
MINUTES**

Roll Call:

Members present

Donald Acker, Chair  
Jorge Cisneros, Place 1  
Edward Lopez, Place 2  
Ashly Schilling, Place 3  
Lisa Skier, Place 5  
Joyce Fiaccone, Alternate 1  
Melissa Scheuttig, Alternate 2  
Rachel Konopka, Alternate 3

Members absent

Mike Witt, Alternate 4

Staff present

JP Ducay, Director of Planning and Development Services  
Lindsay Rawlinson, City Secretary  
Elizabeth Yelverton, City Attorney

**1. CALL TO ORDER**

Chair Acker called the meeting to order at 6:00 p.m.

**2. OATH OF OFFICE**

City Secretary Lindsay Rawlinson administered the Oath of Office to Alternate 3 Rachel Konopka.

**3. EXECUTIVE SESSION**

**A. Executive Session:** Pursuant to the Open Meetings Act, Chapter 551, Texas Government Code, Section 551.071. Executive Session may be held, under these exceptions, at any time during the meeting that a need arises for the Zoning Board of Adjustment to seek advice from the City Attorney as to the posted subject matter of this Zoning Board of Adjustment meeting.

**Motion:** Motion was made by Member Lopez and seconded by Member Cisneros to convene into Executive Session. Time: 6:03 p.m.

Motion carried by a vote of 5-0.

**B. Reconvene:** Action necessary on items discussed in Executive Session

Chairman Cisneros reconvened into open session. Time 6:12 p.m.

#### **4. PUBLIC COMMENTS**

None.

#### **REGULAR AGENDA**

#### **5. Approved minutes from the September 3, 2024 Zoning Board of Adjustment meeting.**

**Motion:** Motion was made by Member Lopez and seconded by Member Schilling to approve the September 3, 2024 Zoning Board of Adjustment meeting minutes.

Motion carried by a vote of 5-0.

#### **6. Approved ZBA 2024-1071, a special exception to decrease the side yard setback requirements for the property described as Lot 9, Block 7, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 7138 Maple Park Dr, Richland Hills, Texas 76118. PUBLIC HEARING**

Director of Planning and Development Services JP Ducay presented ZBA 2024-1071, a special exception to decrease the side yard setback requirements for the property described as Lot 9, Block 7, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 7138 Maple Park Dr, Richland Hills, Texas 76118. The property is a 6,729 square-foot lot with a 1,030 square-foot single family residence located in the SF-7 zoning district. The applicant for this property is Philip Lao.

The applicant is proposing to enclose a pre-existing carport attached to the primary residence and remodel the garage. The carport and garage will be converted into internal air-conditioned bedrooms with a shared bathroom. During preliminary building plan review, it was determined that the proposed construction would encroach into the side yard setback. However, the addition will align with the existing building footprint and side yard encroachment.

The applicant is requesting a special exception to decrease the side yard setback of eight feet to five feet. The proposed expansion will align with existing building footprint and will not further encroach into any setbacks.

Chair Acker opened the Public Hearing at 6:17 p.m. and asked to hear from any proponents followed by opponents of the case.

Hearing none, Chair Acker closed the Public Hearing at 6:18 p.m.

**Motion:** Motion was made by Member Lopez and seconded by Member Cisneros to approve ZBA 2024-1071, a special exception to decrease the side yard setback requirements for the property described as Lot 9, Block 7, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 7138 Maple Park Dr, Richland Hills, Texas 76118.

Motion passed by a vote of 5-0.

## 7. ADJOURNMENT

**Motion:** Motion was made by Member Lopez and seconded by Member Fiaccone to adjourn.

Motion carried by a vote of 5-0.

There being no further business to come before the Zoning Board of Adjustment, Chair Acker declared the meeting adjourned at 6:19 p.m.

**ATTEST:**

**APPROVED:**

\_\_\_\_\_  
Lindsay Rawlinson, City Secretary

\_\_\_\_\_  
Donald Acker, Chair

# Memorandum

To: Richland Hills Zoning Board of Adjustment  
From: JP Ducay, Director of Planning & Development Services  
Date: May 6, 2025  
Subject: Zoning Variance Request for 7138 Maple Park Dr.

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## Agenda Item:

Consider ZBA 2024-0366, a request for a zoning variance to decrease the side yard setback requirements for the property described as Lot 9, Block 7, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 7138 Maple Park Dr, Richland Hills, Texas 76118. **PUBLIC HEARING**

## Background Information:

The property at 7138 Maple Park is a 6,729 square-foot lot with a 1,226 square-foot foundation for a future single-family residence and a 460 square-foot foundation for a future detached garage located in the SF-7 zoning district. The applicant for this property is Philip Lao.

According to **Section 2.03.03(D) SF-7 Single-Family Residential – Area regulations:**

- The side yard interior setback shall be a minimum of 8 feet.
- The side yard street setback shall be a minimum of 15 feet.

The applicant is proposing to build a new single-family home upon an existing foundation that encroaches into both side yard setbacks.

## Timeline

**October 2024:** Owner submitted a conceptual permit package proposing to expand the existing residence and construct a new detached garage.

**October 29, 2024:** City staff followed up with the owner informing them that the residence was deemed legal-nonconforming as the existing building footprint was encroaching three feet (3') into the western side yard setback and one foot and four inches (1'4") into the eastern side-yard setback.

- During staff's preliminary review, it was determined that the proposed construction (addition) would align with the existing building footprint already encroaching three feet into the eight-foot western side yard setback.

- The city's Nonconforming and Special Exception ordinances allowed for the owner to request a special exception to decrease the side yard setback of 8' to 5' if the proposed expansion aligned with the existing footprint and not further encroach into any setbacks.

**December 16, 2024:** The owner submitted a special exception request to ZBA.

**January 7, 2025:** The special exception to decrease the western side yard setback of 8' to 5' was approved by the Zoning Board of Adjustment.

**January 21, 2025:** Owner submits a residential remodel and new garage permit package to the city for review.

**February 24, 2025:** Building permits are approved and issued for the residential remodel and new garage.

**March 26, 2025:** The new garage foundation is poured and passed inspection.

**March 31<sup>st</sup>, 2025:** City staff is made aware that the existing residential structure has been demolished (without notice). The only thing remaining is the original foundation.

- The existing foundation still encroaches three feet (3') into the western side yard setback and one foot and four inches (1'4") into the eastern side-yard setback. However, now that the structure has been demolished/totally destroyed, it has lost its legal-nonconforming designation and may not be rebuilt except to conform to current development standards.

**April 3, 2025:** City staff speaks with the owner and informs them of their options moving forward:

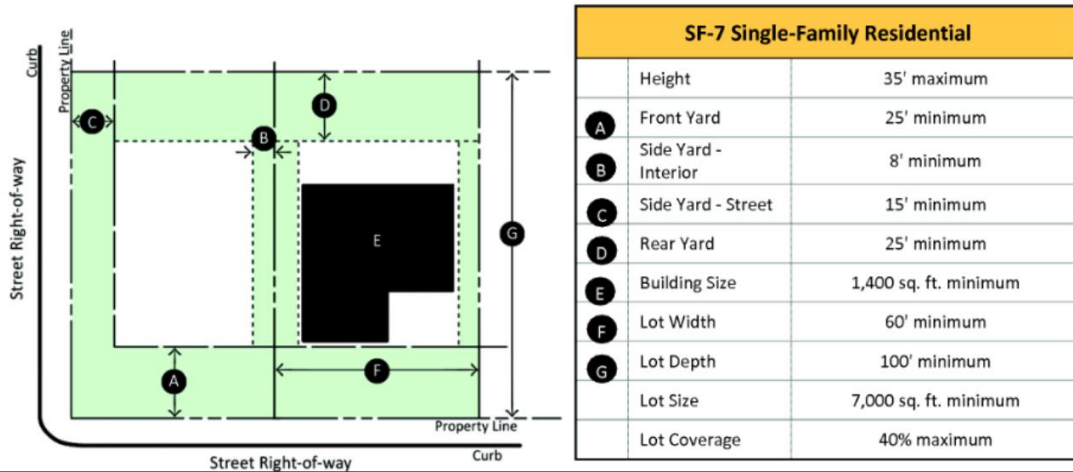
- Option 1 – Demolish remaining foundation and construct new foundation and home in compliance with current standards.
- Option 2 – Build upon the existing foundation, however, the new residences vertical walls shall not encroach into any setbacks. In this case, there should be unused or excess foundation remaining on both side yards as the new vertical construction cannot encroach into the side yard setbacks. Ultimately, the new home would need to be thinner to comply.
- Option 3 – Request a Zoning Variance to allow for the new home to built upon the existing foundation encroaching into both side yard setbacks.

### Variance request

The applicant is requesting a zoning variance to decrease the western side yard setback of 8' to 5' and the eastern side yard setback of 15' to 13'. The proposed building footprint will be completely consistent with the original residence prior to its demolition.

## Zoning Map

(D) Area regulations.



### Attachments:

Application and Justification  
Proposed Plans  
Property Photos  
Section 6.12 – Zoning Variance

### Motion:

Motion to *(approve/deny)* ZBA 2024-0366, a request for a zoning variance to decrease the side yard setback requirements for the property described as Lot 9, Block 7, Richland Park Addition, City of Richland Hills, Tarrant County, Texas otherwise known as 7138 Maple Park Dr, Richland Hills, Texas 76118.



# Richland Hills Development Services

3200 Diana Drive | Richland Hills, TX, 76118

817-616-3800 | richlandhills.com

## Zoning Application

### Application Type

- Specific Use Permit (Fee: \$300.00)
- Zoning Text Amendment (Fee: \$300.00)
- Planned Development (Fee: \$300.00)
- Zoning Map Amendment (Fee: \$300.00)

### Applicant Information

Applicant's Name: Philip Lao (as Manager)

Business Name: Lao Realty Solutions, LLC

Phone: 650-796-5921 Email Address: laorealty@yahoo.com

### Property Information

Property Address: 7138 Maple Park Dr, Richland Hills, CA 76118

Square Feet: 780 Deed Date: 3/10/2015

Building Owner: Philip Lao

Company: Lao Realty Solutions LLC

Phone: 650-796-5921

Owner Address: 543 Hillcrest Rd, San Carlos, CA 94070

Owner Phone Number: 650-796-5921

Owner Email Address: laorealty@yahoo.com

Previous Occupant: Vacant Current Zoning: Richland Park

### Zoning Request

Please provide a detailed description of your request: Request to build a new building on the existing foundation for which was previously received an approved remodel permit.

After the remodel started the contractor discovered majority of walls and sub-floors were fire, wood rot and termite damaged which require replacement.

### Signature

I certify that my answers are true and complete to the best of my knowledge, and I understand that false or misleading information in my application may result in zoning violations.

Signature: Philip Lao Date: 4/10/2025

**Public Hearing Information**

Planning & Zoning Hearing Date: \_\_\_\_\_ City Council Hearing Date: \_\_\_\_\_

Permit Number: \_\_\_\_\_ Receipt Number: \_\_\_\_\_ Date: \_\_\_\_\_

Notes: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Received by: \_\_\_\_\_

Variance criteria. No zoning variance shall be granted without first having given public notice and having held a public hearing on the zoning variance request in accordance with section 6.03.02. Public Hearings and Notification Requirements for Zoning Related Applications, and unless the board of adjustment finds all the following criteria are met:

(1) Unique circumstances. That there are special circumstances or conditions affecting the land involved such that the application of the Zoning Ordinance's provisions would deprive the applicant of the reasonable use of his/her land.

**Remodel Permit with set back encroachment variance was issued 2/24. After the remodel process started, the contractor notice the damaged by fire, wood rot and termite was extensive and which required replacement of subfloors, floor joists and exterior walls. The building department guided to this process due to lack of knowledge in construction process by the owner.**

(2) Minimum necessary relief required to alleviate the undue hardship. The zoning variance, if granted, would be the minimum necessary relief required to alleviate the undue hardship.

**Relief request: Request to allow replacing of exterior walls, floor joist and subfloor on the existing foundation in addition to the previously requested remodel plan which was approved for remodel before.**

(3) Preservation of property rights. That the zoning variance is necessary for the preservation and enjoyment of a substantial property right of the applicant.

**The requested variance would significantly improved the property value of the applicant as well as improve the quality and value of the residential neighborhood.**

(4) No substantial detriment to the public good. That the granting of the zoning variance will not be detrimental to the public health, safety or welfare, impair the purposes and intent of this Zoning Ordinance and the comprehensive plan or be injurious to other property within the area.

**No sustantial detriment to the public good as the foot print of the home does not change from the previously approved plan.**

(5) Orderly use of land. That the granting of the zoning variance will not have the effect of preventing the orderly use of other land within the area in accordance with the provisions of this Zoning Ordinance.

**No change in the use of land within or surrounding.**

(6) Precedent. The granting of an individual zoning variance will not set a precedent.

**This request is a unique situation where replacement of substantial replacement of damaged materials was discovered after the remodel started.**

(7) Finding of undue hardship. In order to grant a zoning variance, the board of adjustment must make findings that an undue hardship exists, using the following criteria:

(a) That literal enforcement of the controls will create an undue hardship or practical difficulty in the development of the affected property; and

**The literal enforcement of setback requirement would require to remove existing foundation on east and west side, approximately 4.5 ft which would result in reduction of 157.6 sqft of living space and minimum of 5 tons of concrete waste would be generated.**

(b) That the situation causing the hardship or difficulty is neither self-imposed nor generally affecting all or most properties in the same zoning district; and

**The discovery of the extent of fire, wood rot and termite damaged discovered after remodel started was unavoidable, while the process of arriving to this situation was due to lack of knowledge on construction process by the owner and building dept directed to the ZBA request.**

(c) That the relief sought will not injure the permitted use of adjacent conforming property; and

**In my humble opinion, there should not be any additional negative impact to the permitted use of the adjacent conforming property as the request is to reuse the existing foundation.**

(d) That the granting of a zoning variance will be in harmony with the spirit and purpose of these regulations.

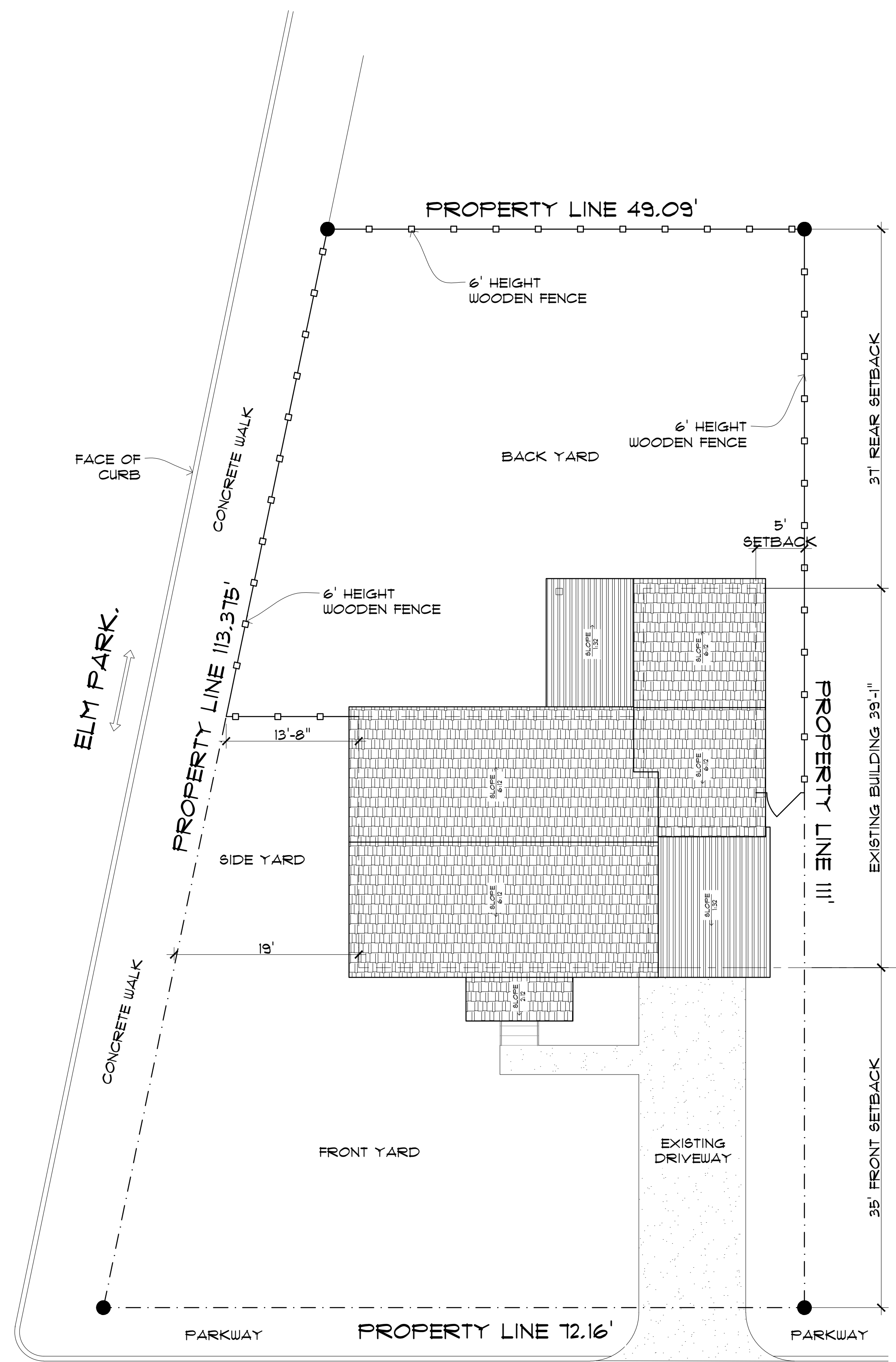
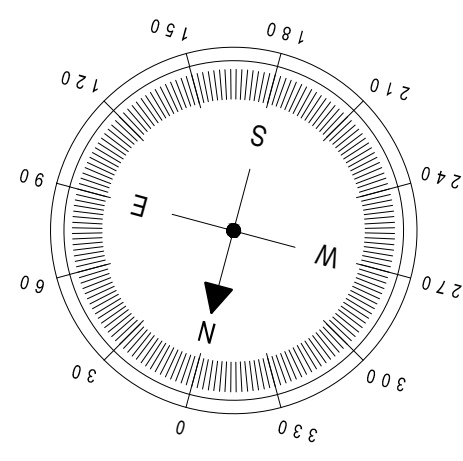
**The zoning variance would allow the extensive remodel of the home on the existing foundation which will be in the harmony with the spirit and purpose of the regulations.**

(e) Financial hardship alone is not an "undue hardship" if the property can be used, meeting the requirements of the zoning district in which the property is located.

**Hardship involves**

**1. reduction and living space such that it would not be possible to create a desirable residence with 3 bedrooms.**

- 2. No additional lot space available (garage in the back) and only way is to regain the living space is to build 2 story building which may not be possible.**
- 3. Lower property value due to this small undesirable home in the neighborhood would reflect the surrounding property values accordingly.**
- 4. Generate additional waste (concrete) materials.**
- 5. Extends significant amount of time in construction**
- 6. Additional cost to remove existing foundation, develop a new design and plans and construction cost in the uncertain economy; these cost may not be feasible to proceed with the project.**



Architect Info:

Consultant Info:

Contractor Info:

NOTES:

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2. NOMINATED CONTRACTOR TO CHECK AND LOCATE ALL EXISTING PUBLIC DRAINS AND SERVICES ON SITE PRIOR TO CONSTRUCTION.
3. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS AND ALL RELEVANT DOCUMENTS.
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5. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR ALL STRUCTURAL MEMBER, REGISTERED ENGINEERS DRAWINGS AND SPECIFICATIONS OVERRIDE ALL DESIGN.
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9. IT IS THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO ADVISE ARCHITECTURE OF ANY CHANGES THAT OCCUR OR THAT VARY FROM PLANS.
10. ALL STRUCTURAL TIMBER TO BE A+GRADE

Revision:	

Designer:	
LBP no.:	
Drawn:	
Scale:	
Date:	17 FEB 2025

Project:

7138 MAPLE PARK DR, RICHLAND HILLS, TX 76118, USA

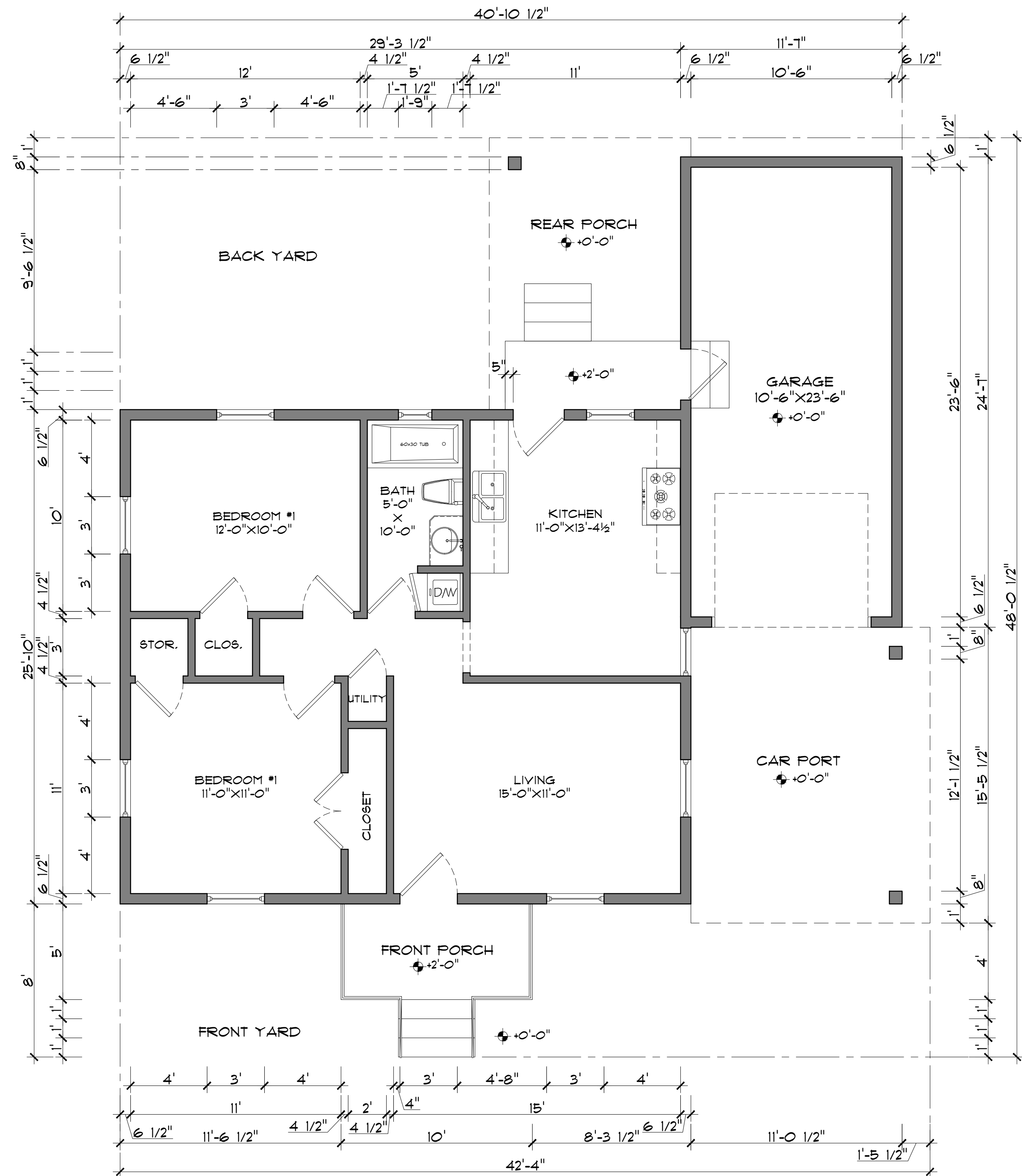
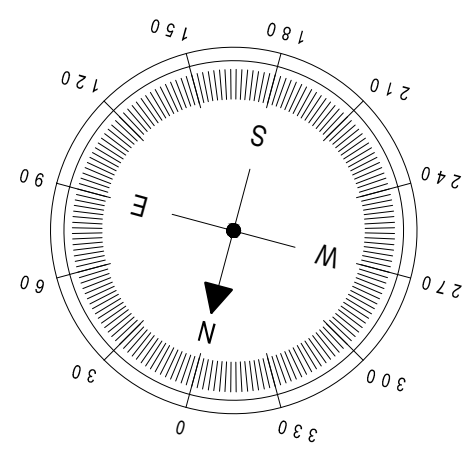
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EXISTING SITE PLAN

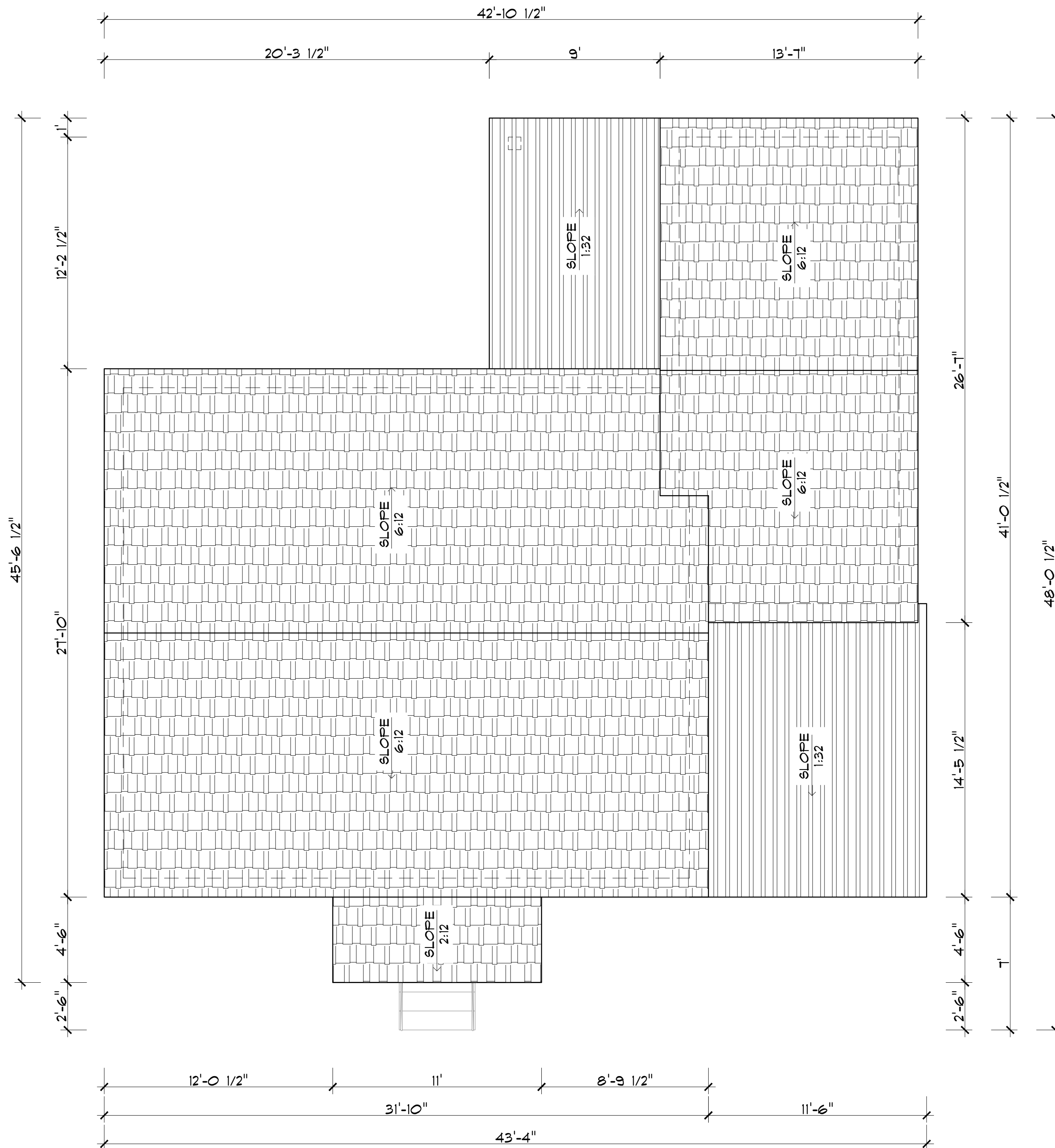
Sheet :

A-0.1





**1** EXISTING FLOOR PLAN  
A.1.1 SCALE: 1/4"=1'-0"



**2** EXISTING ROOF PLAN  
A.1.1 SCALE: 1/4"=1'-0"

Architect Info:

Consultant Info:

Contractor Info:

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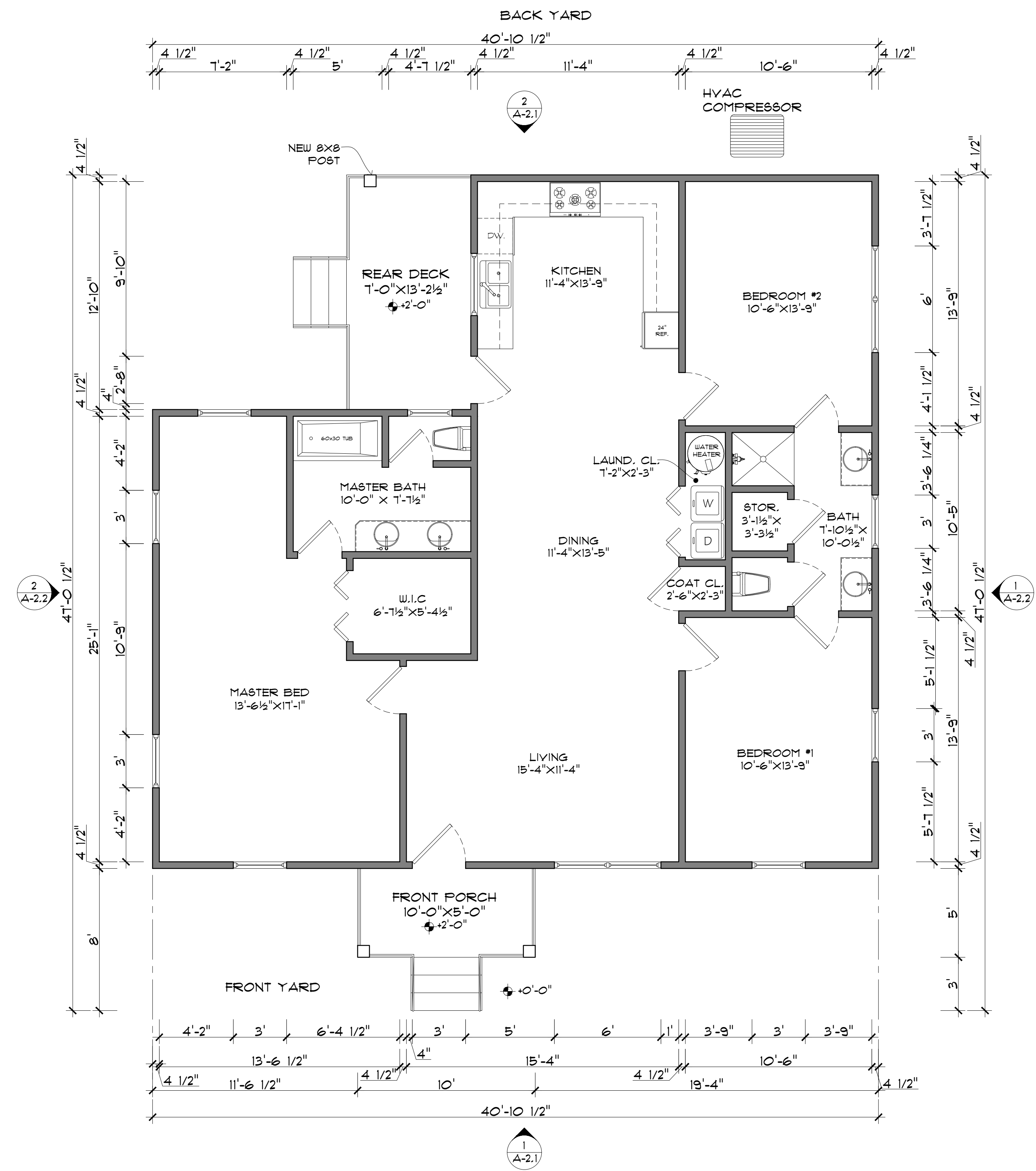
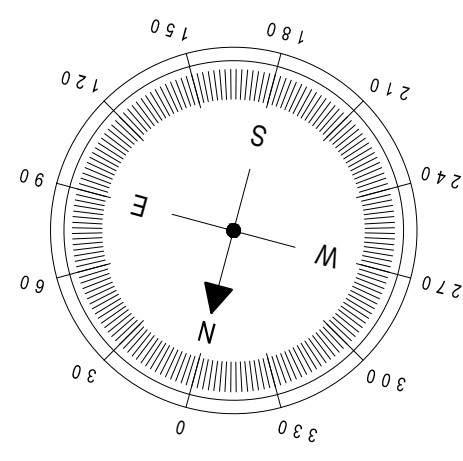
7138 MAPLE PARK  
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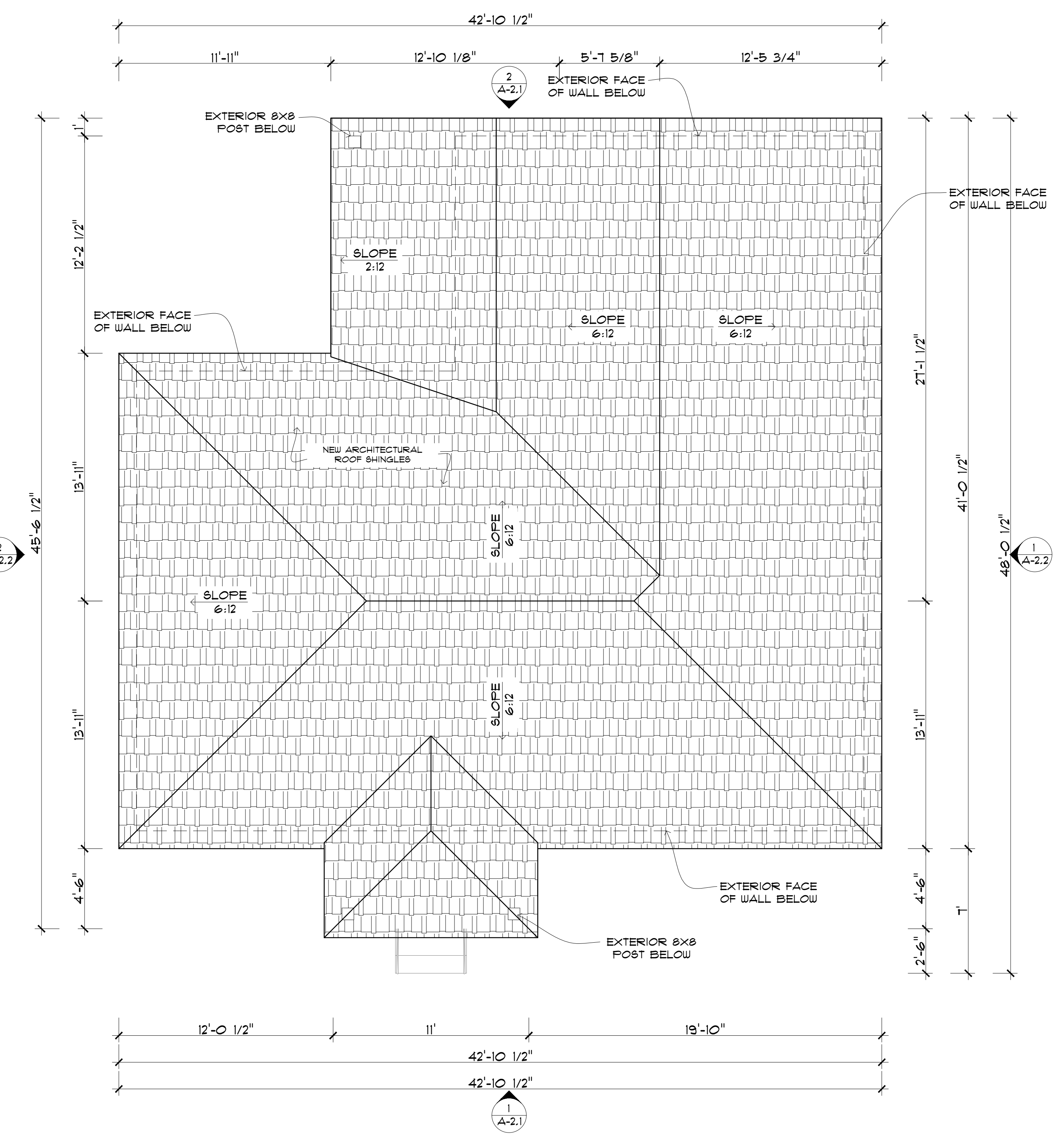
**EXISTING FLOOR  
PLAN AND ROOF PLAN**

Sheet:

**A-1.1**



**1** PROPOSED FLOOR PLAN  
A 1.2 SCALE: 1/4"=1'-0"



**2** PROPOSED ROOF PLAN  
A 1.2 SCALE: 1/4"=1'-0"

Architect Info:

Consultant Info:

Contractor Info:

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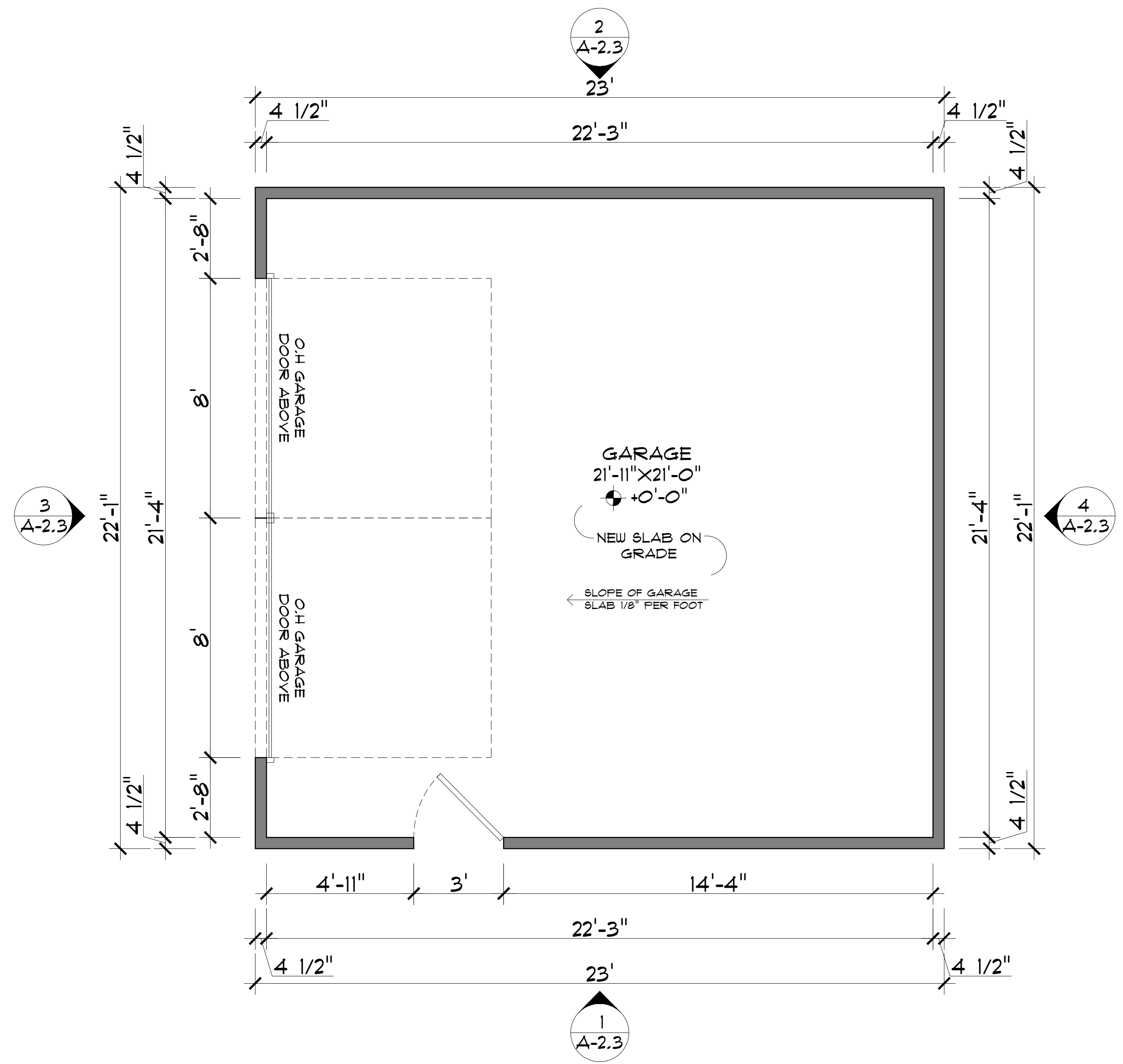
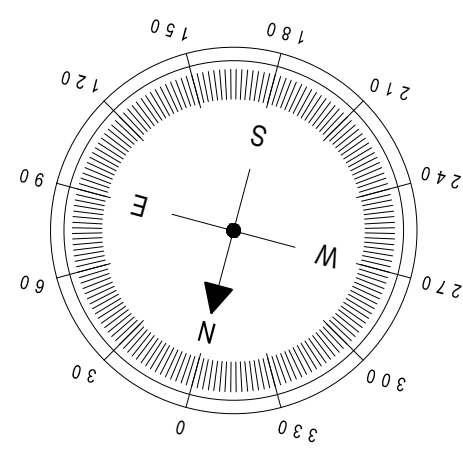
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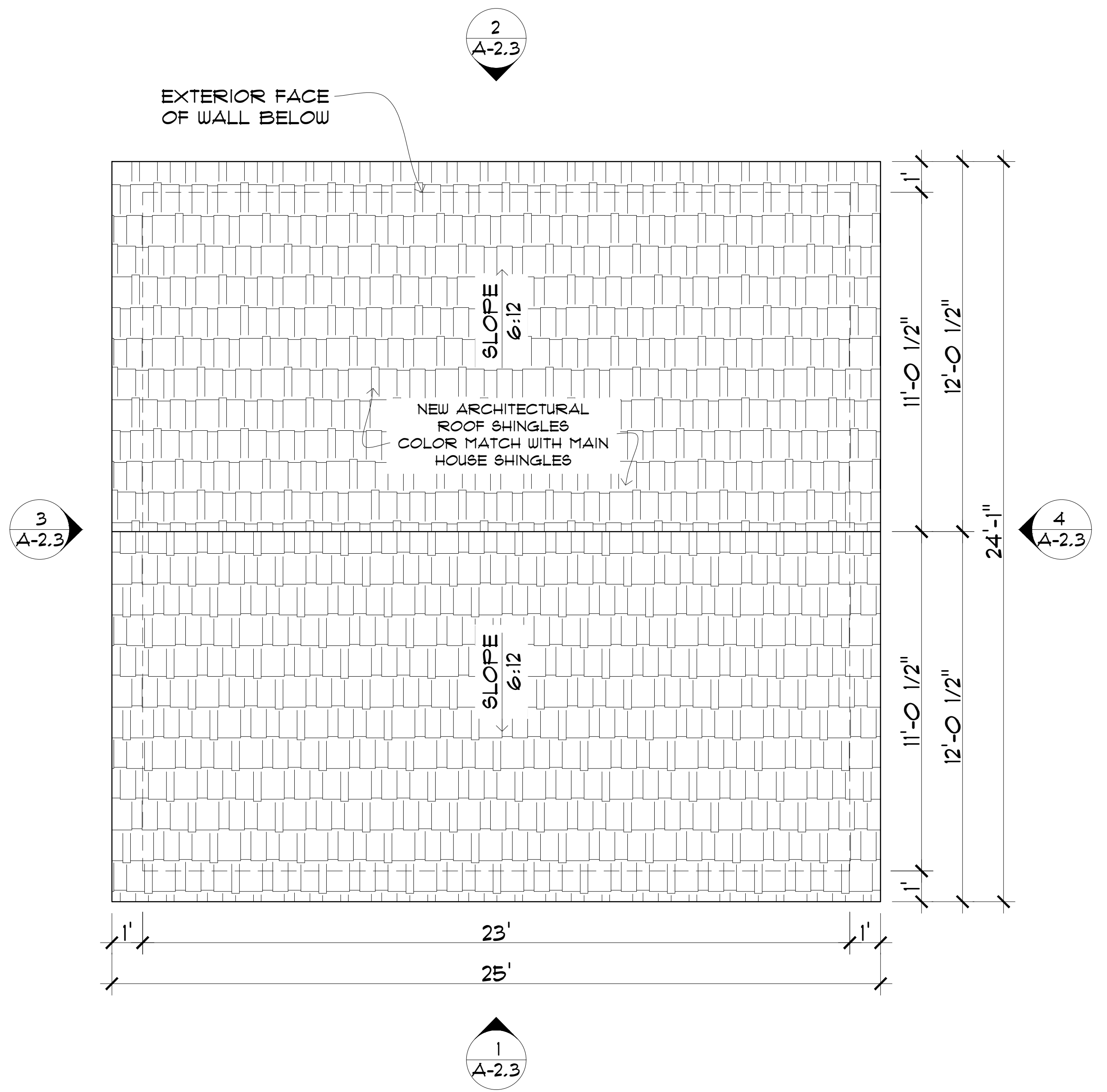
**PROPOSED FLOOR PLAN AND ROOF PLAN**

Sheet:

**A-1.2**



**1** PROPOSED FLOOR PLAN OF DETACH GARAGE  
**A 1.3** SCALE : 3/8"=1'-0"



**2** PROPOSED ROOF PLAN OF DETACH GARAGE  
**A 1.3** SCALE : 3/8"=1'-0"

Architect Info:

Consultant Info:

Contractor Info:

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 DR, RICHLAND  
 HILLS, TX 76118, USA

Title:

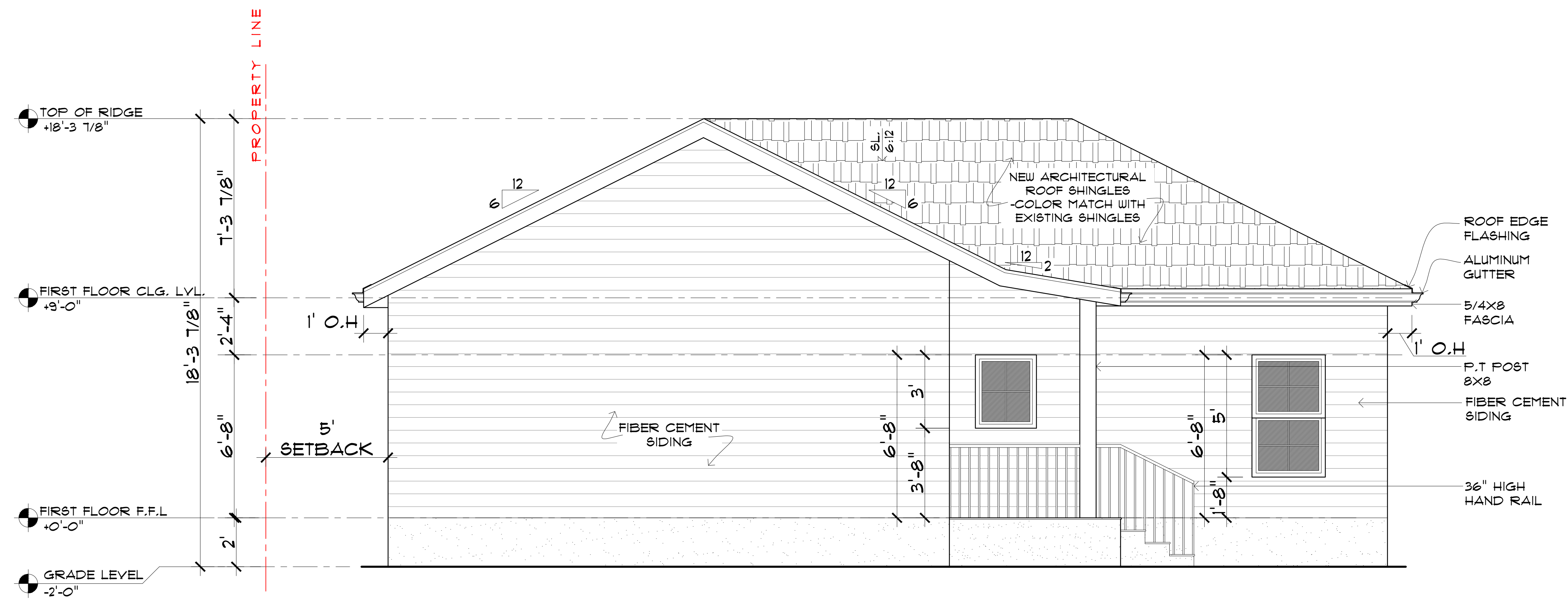
**DETACH GARAGE  
 FLOOR PLAN AND  
 ROOF PLAN**

Sheet :

**A-1.3**



**1** PROPOSED FRONT ELEVATION  
**A 2.1** SCALE : 3/8"=1'-0"



**2** PROPOSED REAR ELEVATION  
**A 2.1** SCALE : 3/8"=1'-0"

Architect Info:

Consultant Info:

Contractor Info:

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  10. ALL STRUCTURAL TIMBER TO BE A+GRADE

Revision:

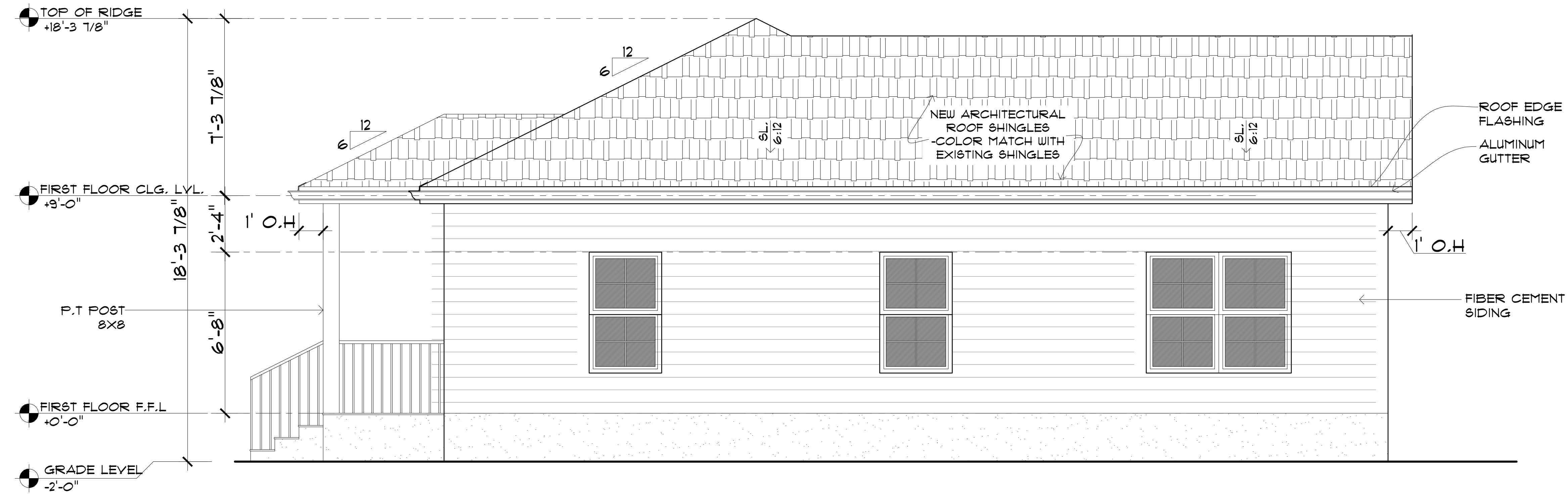

Designer:	
LBP no.:	
Drawn:	
Scale:	
Date:	17 FEB 2025

Project:  
 7138 MAPLE PARK DR, RICHLAND HILLS, TX 76118, USA

Title:  
**PROPOSED MAIN BUILDING FRONT AND REAR ELEVATIONS**

Sheet :

**A-2.1**



**1** PROPOSED RIGHT ELEVATION  
**A 2.2** SCALE : 3/8"=1'-0"



**2** PROPOSED LEFT ELEVATION  
**A 2.2** SCALE : 3/8"=1'-0"

Architect Info:

Consultant Info:

Contractor Info:

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Drawn:

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Date: 17 FEB 2025

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7138 MAPLE PARK  
 DR, RICHLAND  
 HILLS, TX 76118, USA

Title:

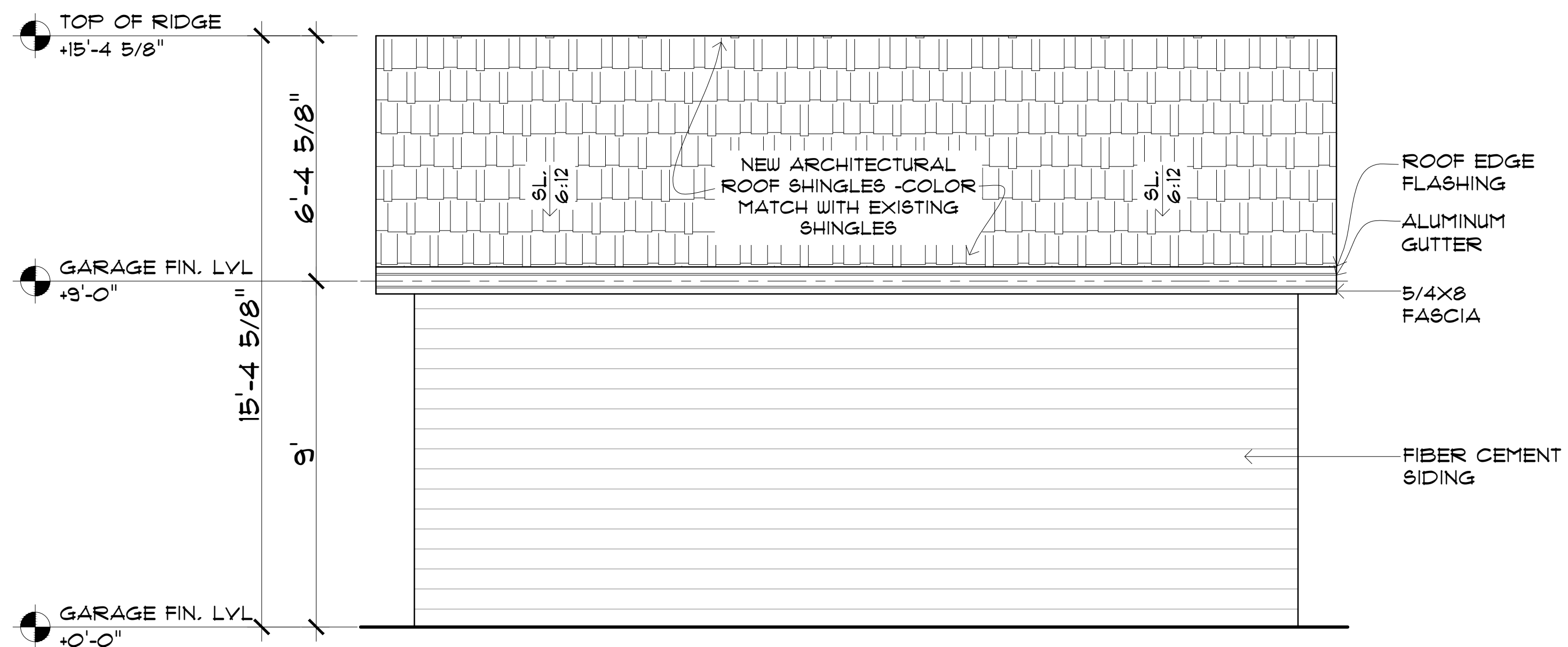
**PROPOSED MAIN  
 BUILDING EXTERIOR  
 ELEVATION**

Sheet :

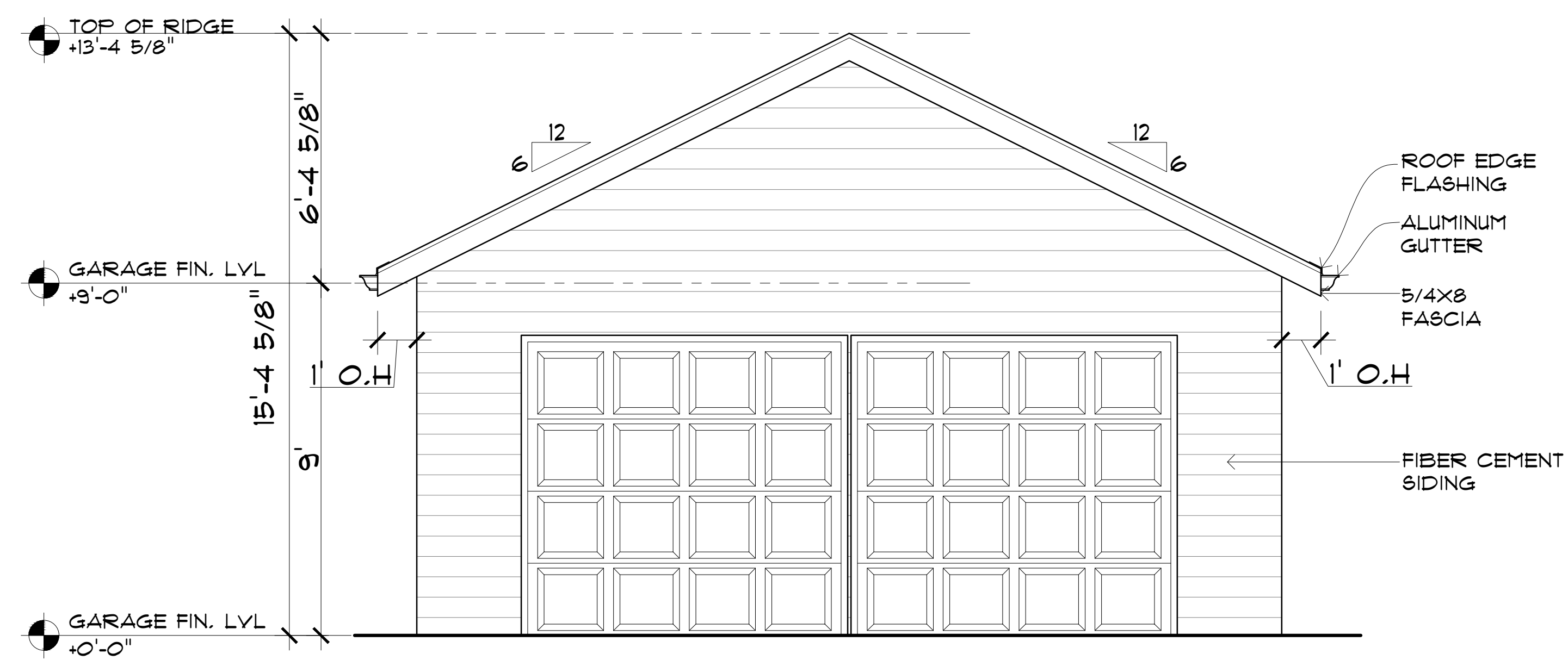
**A-2.2**



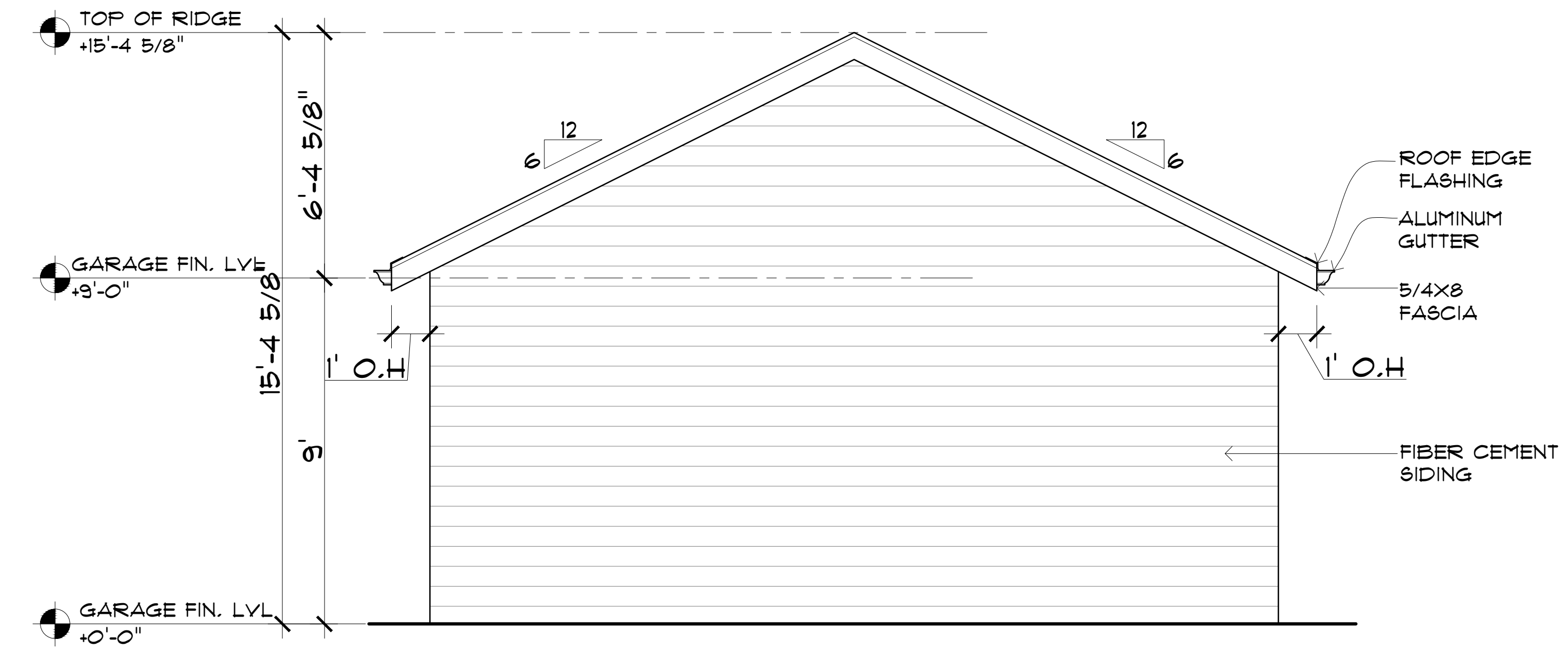
**1** PROPOSED FRONT ELEVATION  
A.2.3 SCALE : 3/8"=1'-0"



**2** PROPOSED REAR ELEVATION  
A.2.3 SCALE : 3/8"=1'-0"



**3** PROPOSED LEFT ELEVATION  
A.2.3 SCALE : 3/8"=1'-0"



**4** PROPOSED RIGHT ELEVATION  
A.2.3 SCALE : 3/8"=1'-0"

Architect Info:

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Contractor Info:

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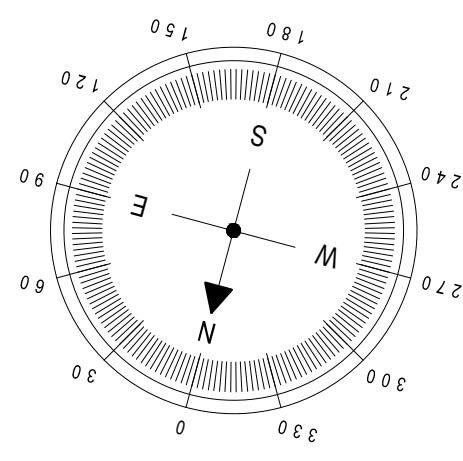
1138 MAPLE PARK DR, RICHLAND HILLS, TX 76118, USA

Title:

**DETACH GARAGE ELEVATION**

Sheet :

**A-2.3**



**MECHANICAL KEYED NOTES:**

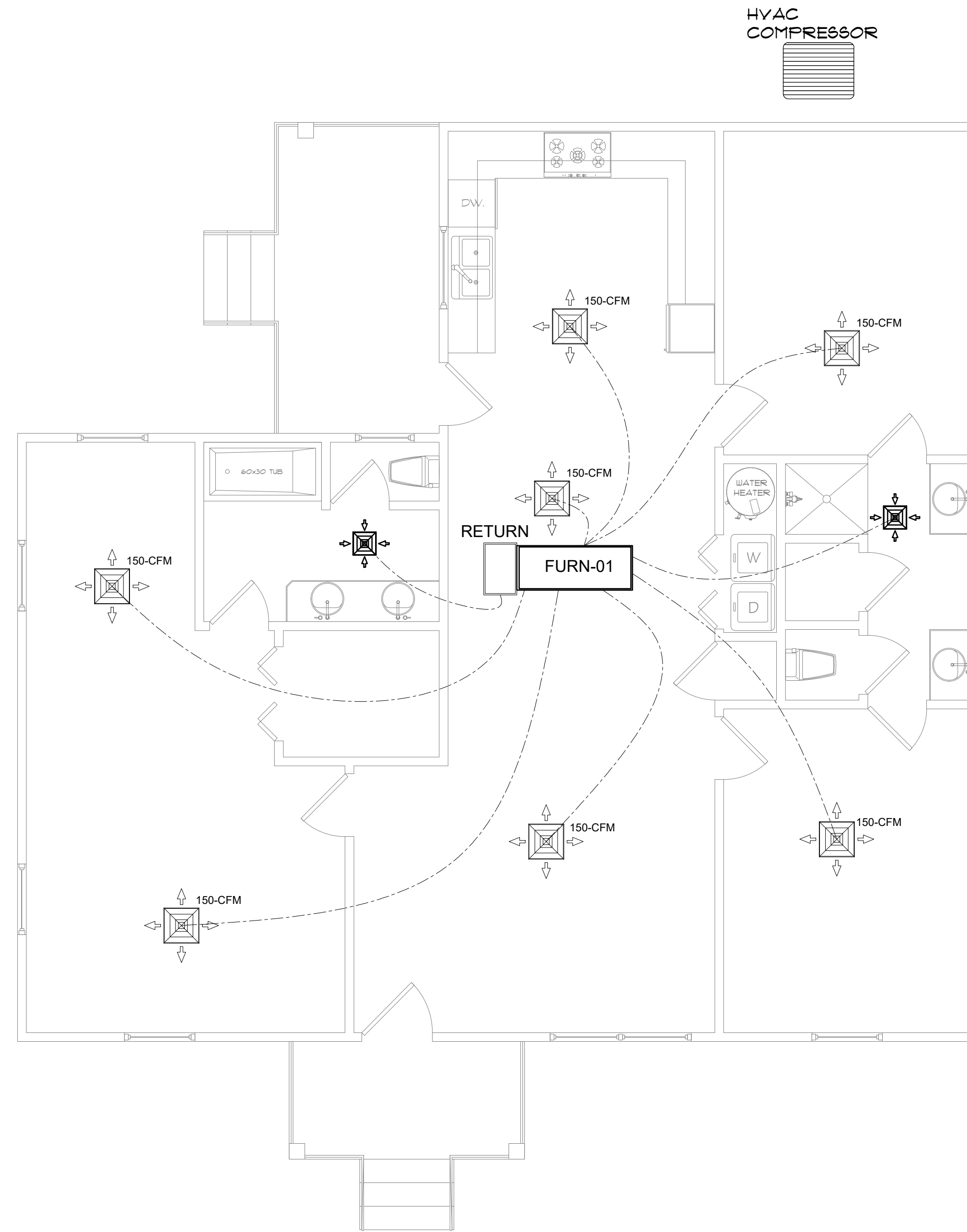
CONFIRM AND COORDINATE OUTDOOR CONDENSING UNIT LOCATIONS WITH ARCHITECT.

EXHAUST DUCT ROUTED THRU WALL AND TERMINATE OUTSIDE WITH WALL CAP.

WALL LOUVERS CONNECT TO 12" DEEP PLENUM BOX AND CONNECT TO DUCTWORK TO PROVIDE SPLIT SYSTEM RETURN DUCT WITH OUTSIDE AIR.

DRYER VENT ROUTED THRU WALL AND TERMINATED WITH WALL CAP.

HVAC SYMBOLS	
	SUPPLY GRILL
	EXHAUST FAN



**HVAC GENERAL NOTES**

- THE INTENT OF THESE PLANS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, EQUIPMENT, MATERIALS, AND SERVICES NECESSARY TO FURNISH, INSTALL, TEST, AND ADJUST A COMPLETE WORKABLE HEATING, VENTILATION, AND AIR CONDITIONING SYSTEM AS SHOWN, PRESCRIBED, OR REASONABLY IMPLIED BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS, BUT NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE INTENT THEREOF.
- THE ENTIRE INSTALLATION SHALL CONFORM TO THE APPLICABLE CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION. IN THE EVENT OF CONFLICT BETWEEN SPECIFICATIONS, CODES, AND REGULATIONS, THE MORE RESTRICTIVE SHALL APPLY.
- DRAWINGS FOR HVAC WORK ARE DIAGRAMATIC SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS. PROVIDE ALL DUCTWORK, MATERIALS, CONNECTIONS, ACCESSORIES, FITTINGS, OFFSETS, TRANSITIONS, DAMPERS AS REQUIRED FOR A COMPLETE WORKABLE SYSTEM.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND APPROVED LISTING. ALL EQUIPMENT, PIPING AND SUPPORTS SHALL BE RESTRAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS" BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). ALL EQUIPMENT SHALL BE ANCHORED TO RESIST THE LATERAL FORCE REQUIREMENTS OF CHAPTER 16 OF THE 2012 INTERNATIONAL BUILDING CODE.
- COORDINATE THE INSTALLATION OF THE HVAC SYSTEM WITH ALL OTHER TRADES PRIOR TO FABRICATION OR INSTALLATION. COORDINATE THE LOCATIONS OF PENETRATIONS AND FINAL LOCATION OF ALL EQUIPMENT WITH THE GENERAL CONTRACTOR. PROVIDE EQUIPMENT WEIGHTS, EQUIPMENT DIMENSIONS, PLATFORM SIZES & LOCATIONS, CURB SIZES & LOCATIONS, CONCRETE PAD SIZES AND LOCATIONS AS REQUIRED. COORDINATE LOCATIONS OF GAS & CONDENSATE LINES WITH PLUMBING CONTRACTOR. COORDINATE LOCATIONS OF POWER, DISCONNECTS, AND CONTROL CONDUIT WITH THE ELECTRICAL CONTRACTOR. COORDINATE LOCATIONS OF ALL DIFFUSERS, REGISTERS, AND GRILLES WITH ARCHITECTURAL PLANS, ELECTRICAL LIGHTING PLANS AND ARCHITECTURAL ELEVATIONS.
- DETAILS FOR EQUIPMENT PADS, PLATFORMS, AND FLASHINGS SHALL BE AS INDICATED BY THE ARCHITECTURAL/STRUCTURAL/CIVIL DRAWINGS, UNLESS NOTED OTHERWISE.
- ALL EQUIPMENT, DUCTS, PIPING, SUPPORTS, AND OTHER DEVICES OUTSIDE OF THE BUILDING OR EXPOSED TO WEATHER, SHALL BE COMPLETELY WEATHER-PROOFED.
- OUTSIDE AIR INTAKES SHALL BE AT LEAST 10 FT. AWAY OR 3 FT. BELOW ANY VENT OR EXHAUST DISCHARGE.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. DUCTWORK SHALL BE CONSTRUCTED, ERECTED, INSULATED AND TESTED IN ACCORDANCE CHAPTER 6 OF THE 2012 INTERNATIONAL MECHANICAL CODE.
- ALL EXHAUST FANS SHALL BE EQUIPPED WITH A BACK DRAFT DAMPER.
- DUCT AND AIR TRANSFER PENETRATIONS THRU BUILDING ASSEMBLIES REQUIRING PROTECTION SHALL BE PROTECTED WITH FIRE DAMPERS, SMOKE DAMPERS, COMBINATION SMOKE/FIRE DAMPERS AND CEILING RADIATION DAMPERS IN ACCORDANCE WITH SECTION 607 OF THE INTERNATIONAL MECHANICAL CODE. DUCTS NOT REQUIRING DAMPERS SHALL COMPLY WITH SECTION 714 & 717 OF THE 2012 INTERNATIONAL BUILDING CODE.
- INSTALL SMOKE DETECTORS AND PROVIDE FOR SMOKE DETECTION AND AUTOMATIC SHUT-OFF OF ALL AIR HANDLING EQUIPMENT IN ACCORDANCE WITH SECTION 606 OF THE INTERNATIONAL MECHANICAL CODE.
- UNLESS NOTED OTHERWISE, ALL LINE VOLTAGE WIRING, CONDUIT, FINAL CONNECTIONS, DISCONNECTS, STARTERS, AND OVER CURRENT PROTECTION DEVICES SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR AS INDICATED ON THESE MECHANICAL DRAWINGS AND/OR ELECTRICAL DRAWINGS AND/OR ELECTRICAL SECTION OF THE SPECIFICATIONS.
- INSTALL ALL LOW VOLTAGE HVAC CONTROL WIRE AND DEVICES PER PLAN. ALL WIRE SHALL BE IN CONDUIT PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- PROVIDE OWNER WITH THREE COPIES OF A CERTIFIED AIR BALANCE REPORT PREPARED IN BY A THIRD PARTY CERTIFIED BY THE AABC OR NEBB. TEST, ADJUST AND BALANCE THE HVAC SYSTEM IN ACCORDANCE WITH AABC OR NEBB PROCEDURES. PROVIDE START-UP/TEST REPORTS FOR ALL AIR HANDLING EQUIPMENT, FANS, AND REFRIGERATION EQUIPMENT. TEST AND VERIFY PROPER OPERATION OF ALL MAKE-UP AIR/EXHAUST AIR INTERLOCK SYSTEMS AND THEIR SEQUENCES OF OPERATION. BALANCE ALL AIR FLOWS WITHIN 5% OF DESIGN VALUES. PERMANENTLY MARK BALANCE POSITION OF ALL REGULATING DEVICES.
- PROVIDE OWNER WITH THREE SETS OF AS-BUILT PLANS AND OPERATIONS AND MAINTENANCE MANUALS. CLEARLY IDENTIFY ALL EQUIPMENT WITH PERMANENT PLASTIC OR METAL LABELS/TAGS (PEN MARKING NOT ACCEPTABLE).
- PROVIDE ONE YEAR WARRANTY ON ALL LABOR, PARTS AND MATERIALS.
- ANY CHANGE OR DEVIATION FROM THESE PLANS OR SPECIFICATIONS SHALL REQUIRE THE WRITTEN APPROVAL OF THE ENGINEER PRIOR TO COMMENCEMENT OF SUCH WORK.

Architect Info:

Consultant Info:

Contractor Info:

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Designer:

LBP no.:

Drawn:

Scale:

Date:

17 FEB 2025

Project:

7138 MAPLE PARK  
DR, RICHLAND  
HILLS, TX 76118, USA

Title:

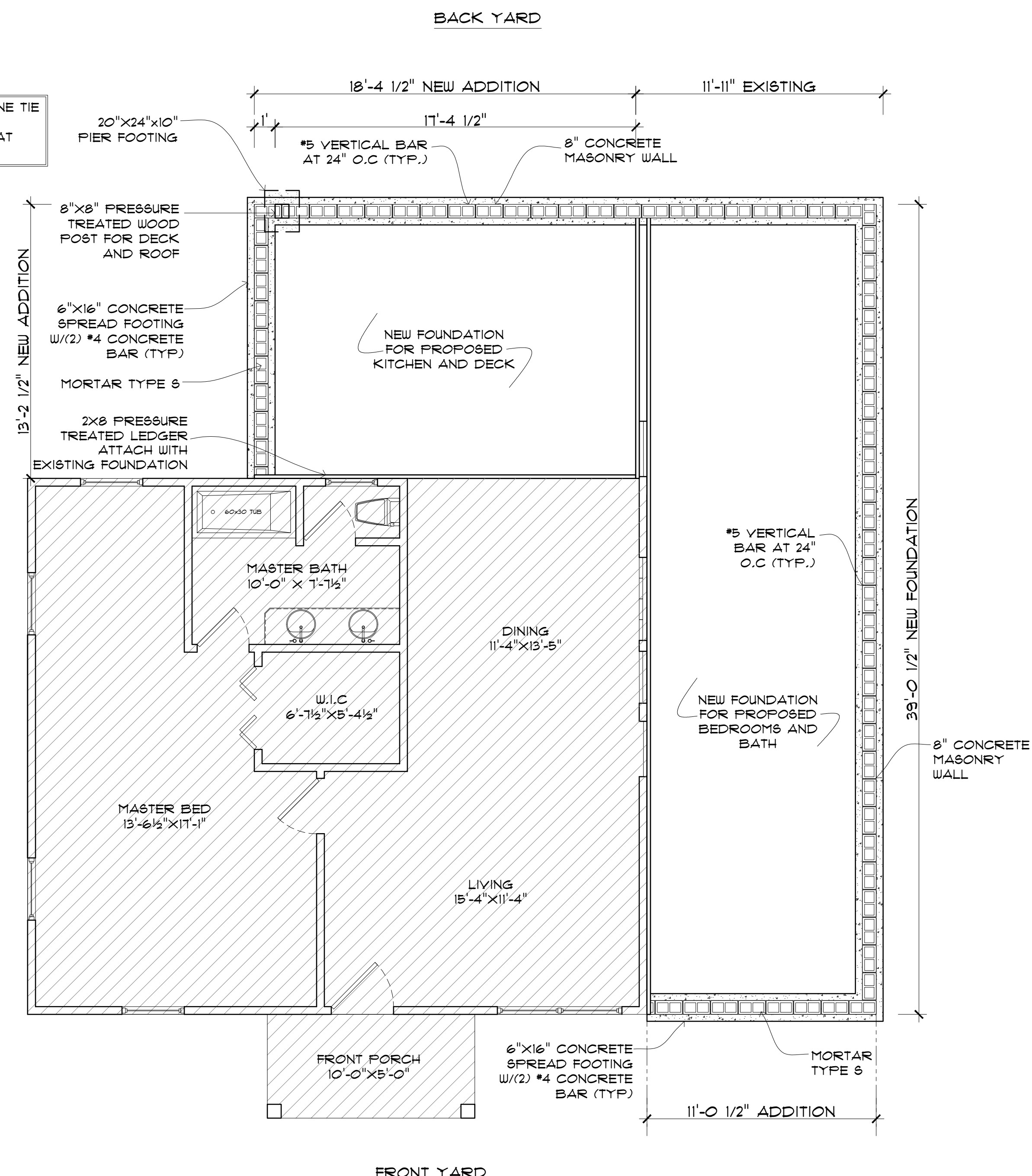
**PROPOSED FLOOR  
PLAN AND ROOF PLAN**

Sheet :

**M-1.0**

**LEGEND**  
 EXISTING POST AND PIER FOUNDATION

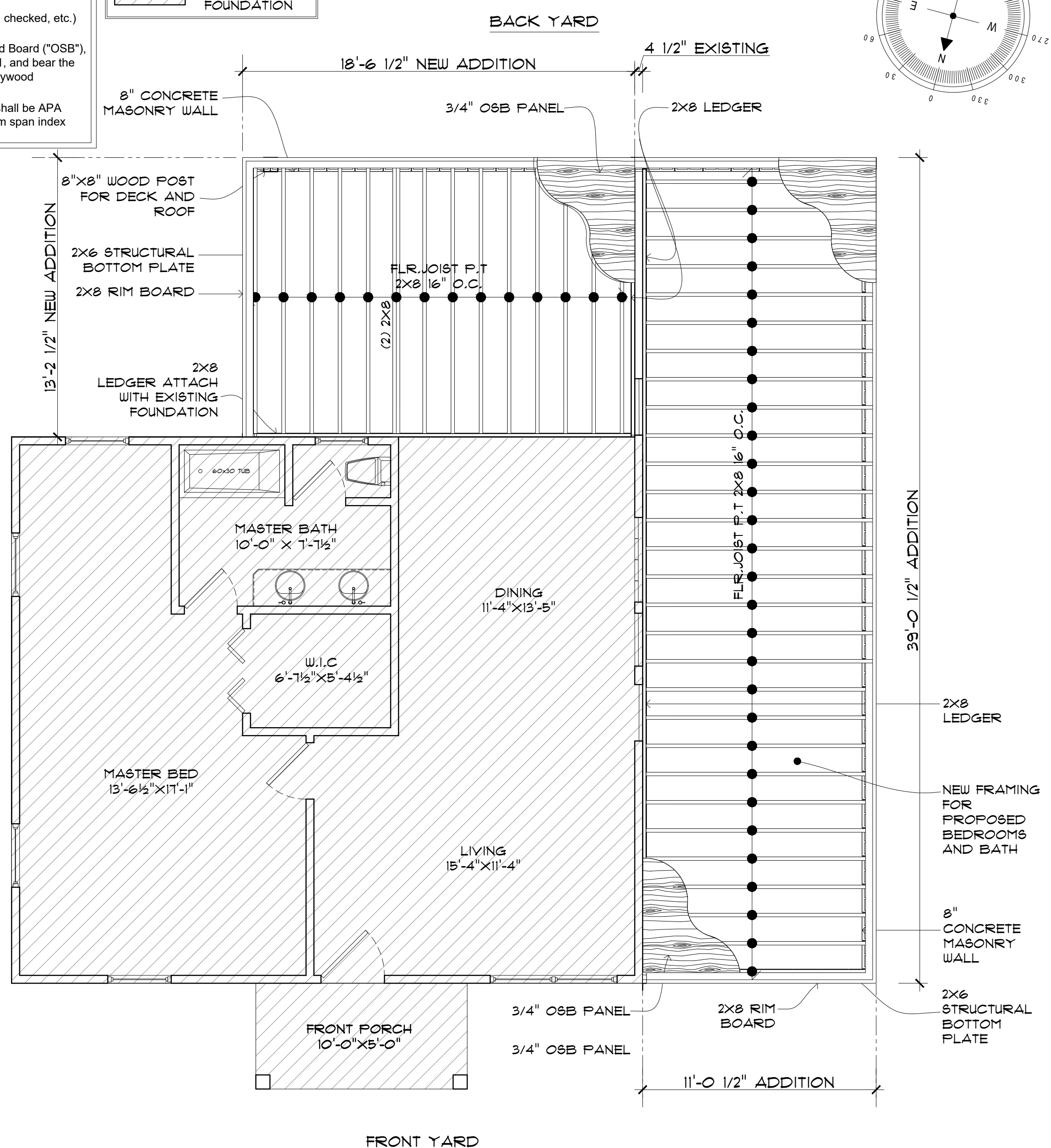
\* SIMPSON STRONG HURRICANE TIE HANGER AT EACH JOIST  
 \* DECK HANGERS (SIMPSON AT EACH JOIST)



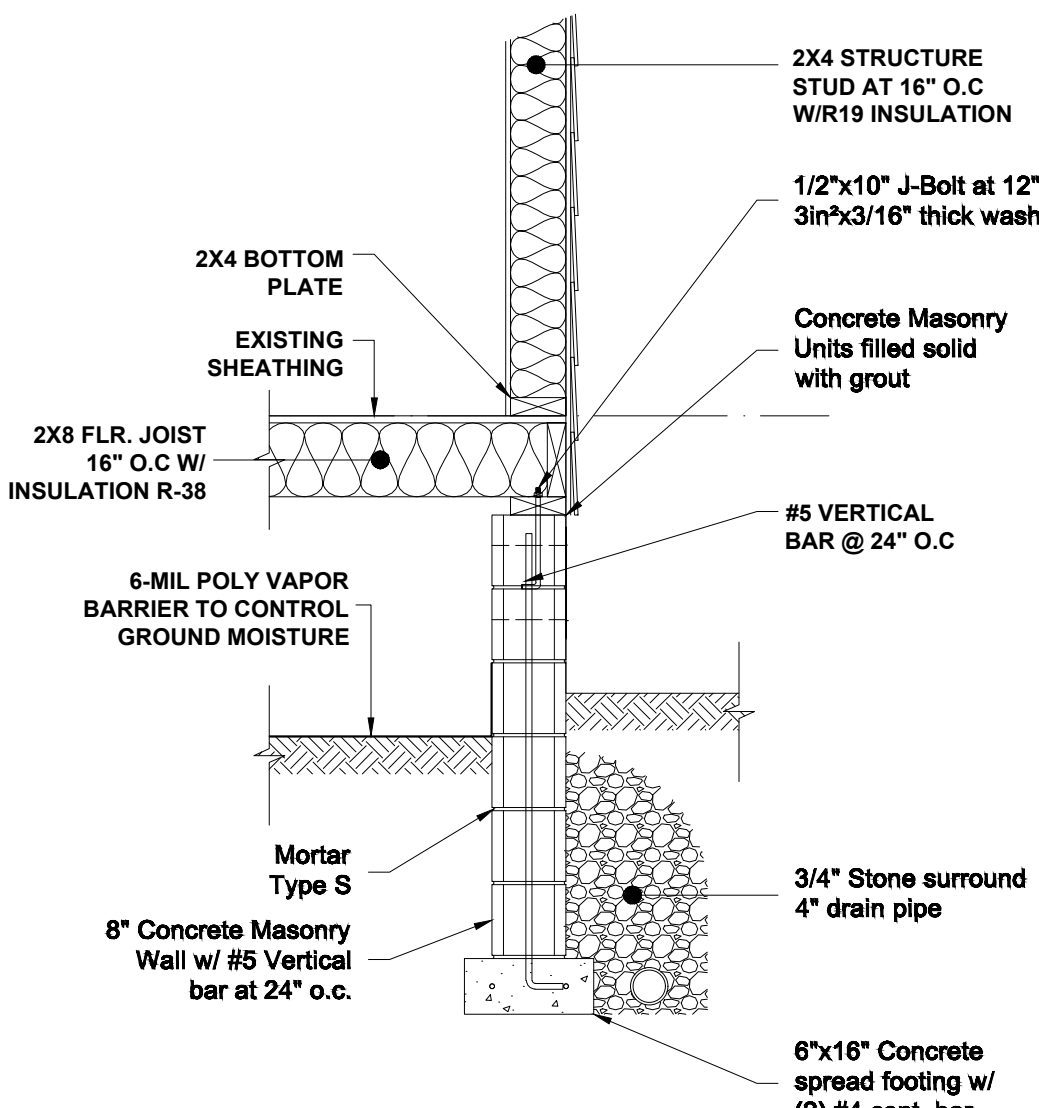
**1 PROPOSED FOUNDATION PLAN**  
 S-01 SCALE : 1/4"=1'-0"

**FLOOR FRAMING NOTES:**  
 1. The design of dimensional lumber members and their connections based on the lumber having a moisture content at the time of installation of 19% or less.  
 2. Severly distorted (Twisted, bowed, cupped, checked, etc.) lumber shall not be used.  
 3. Sheathing panels, plywood or oriented strand Board ("OSB"), shall conform to US product standard PS-1, and bear the APA Grade-Trademark of the American Plywood Association.  
 4. Sheathing panels for floors, roof, and walls shall be APA rated sheathing, exposure 1, with a minimum span index rating of 32/16. See plans for thickness.

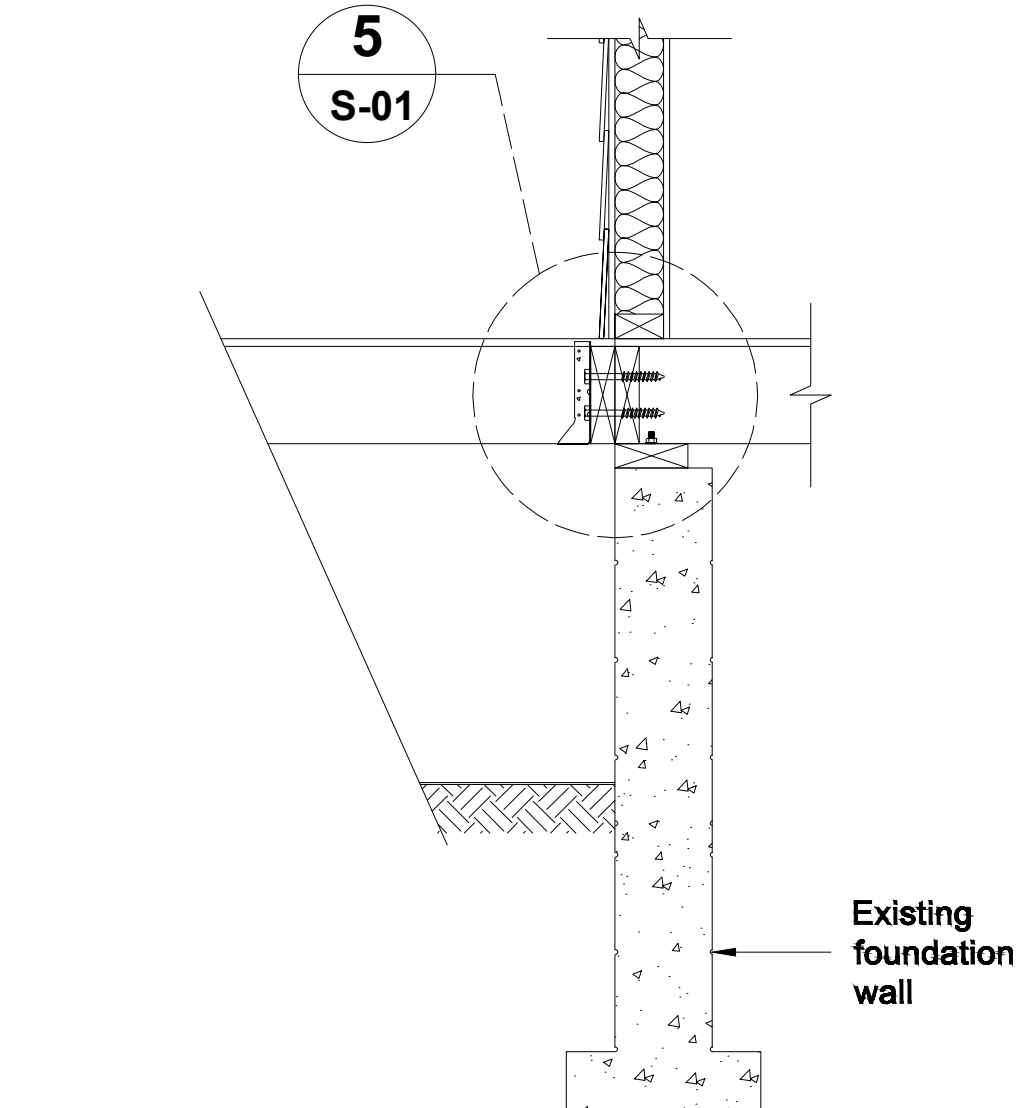
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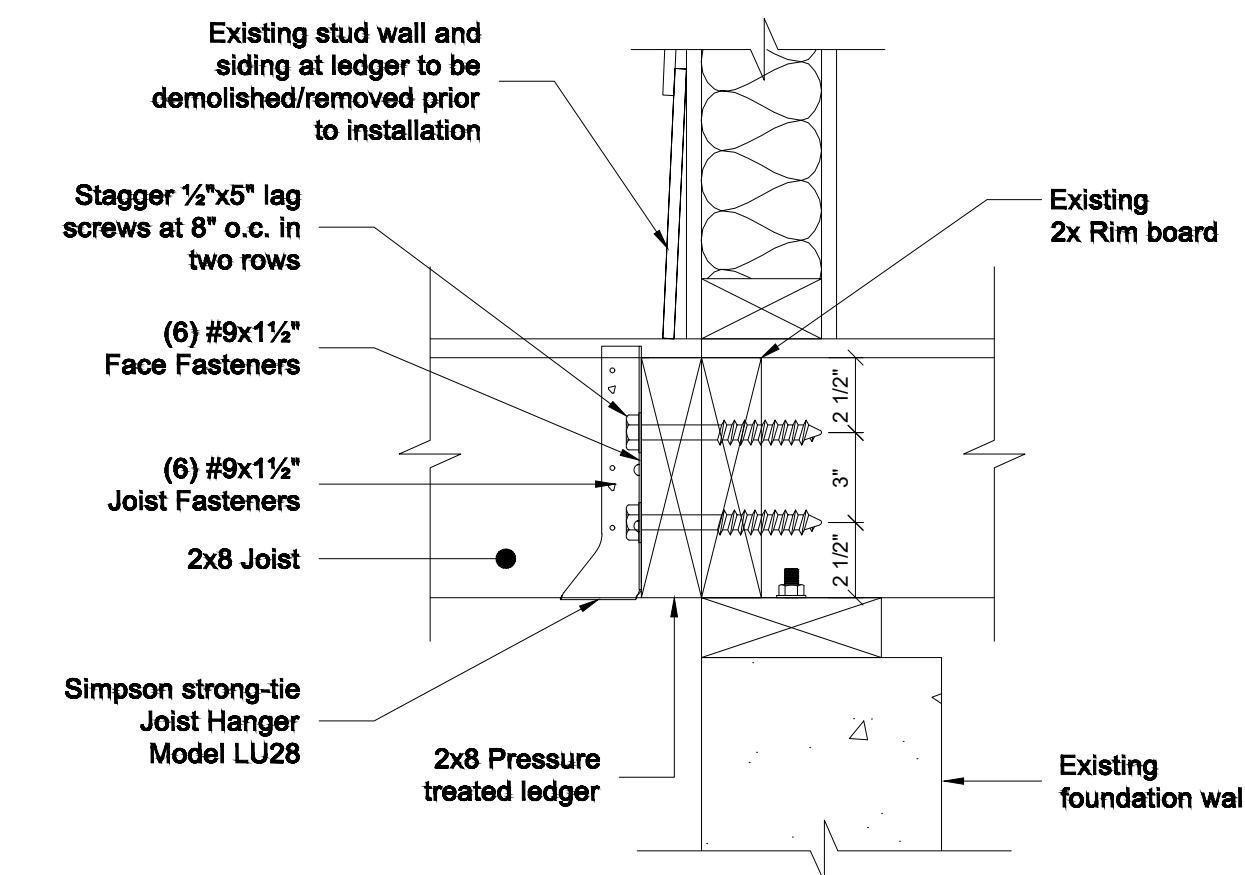
**2 PROPOSED FLOOR FRAMING PLAN**  
 S-01 SCALE : 1/4"=1'-0"



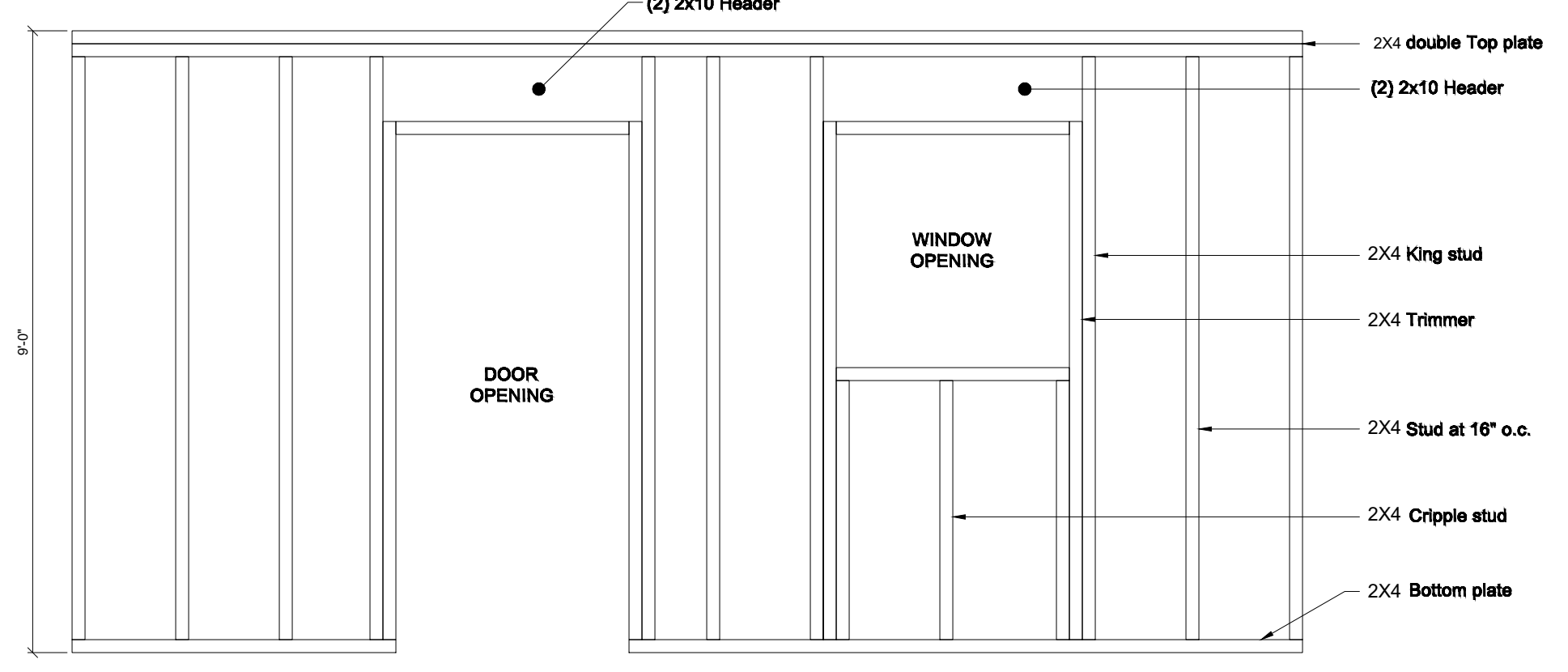
**3 FOUNDATION SECTION DETAIL**  
 S-01 SCALE : NTS



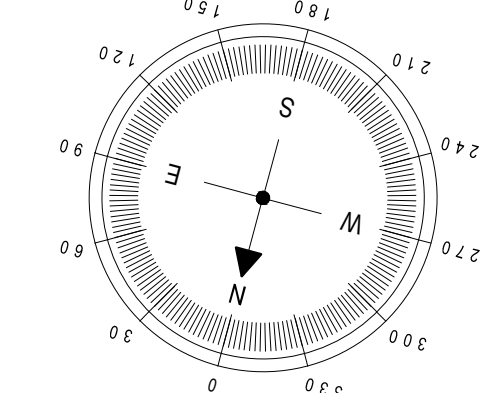
**4 FOUNDATION SECTION DETAIL**  
 S-01 SCALE : NTS



**5 CONNECTION OF FLOOR LEDGER TO THE HOUSE FLOOR BAND JOIST**  
 S-01 SCALE : NTS



**6 TYPICAL WALL FRAMING DETAIL**  
 S-01 SCALE : NTS



Architect Info:  
 Consultant Info:  
 Contractor Info:

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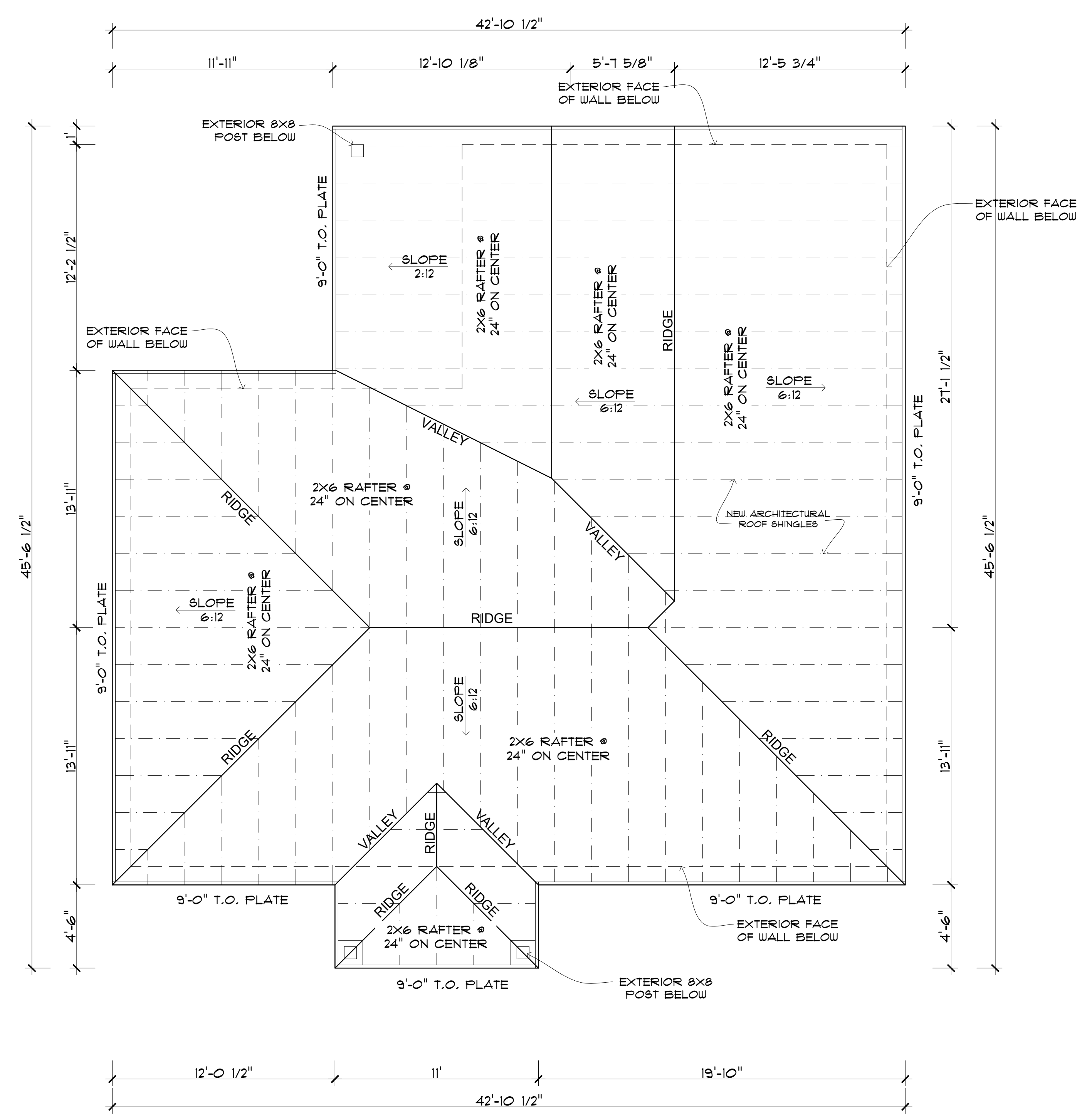
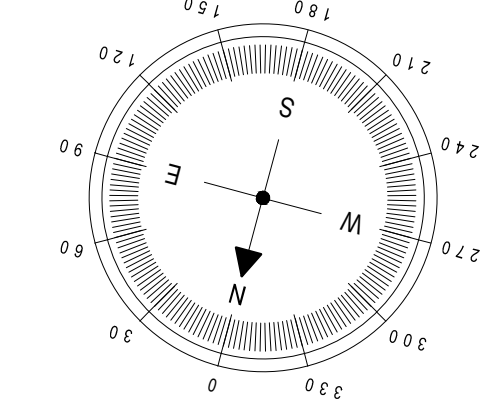
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 7138 MAPLE PARK DR, RICHLAND HILLS, TX 76118, USA

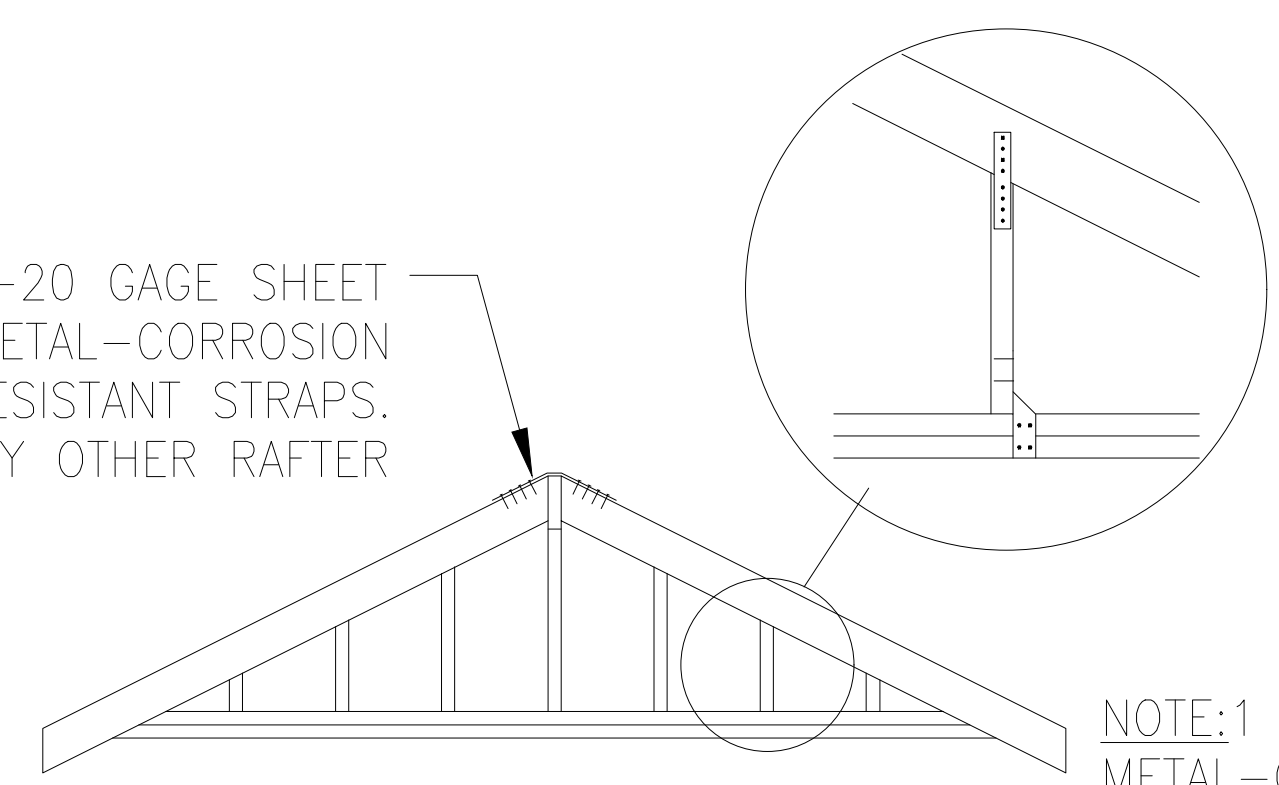
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**MAIN BUILDING FOUNDATION PLAN AND FLOOR FRAMING PLAN**

Sheet:  
**S-01**



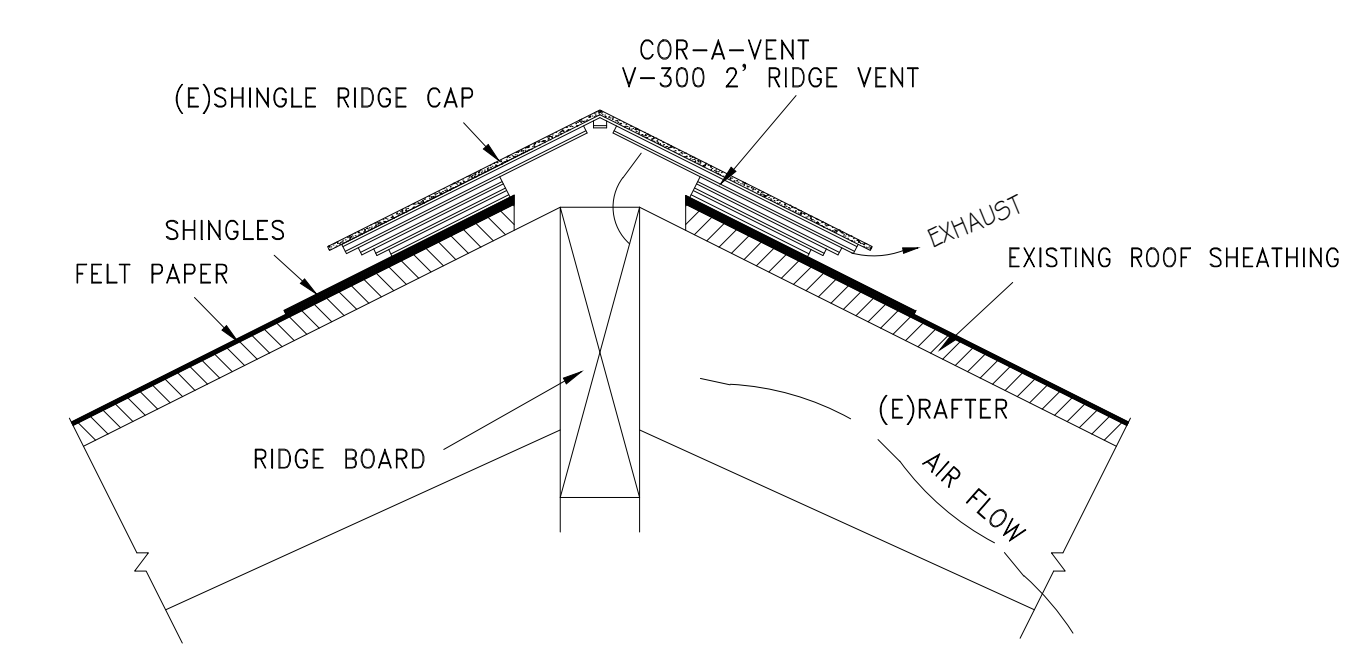
**1** PROPOSED ROOF FRAMING PLAN  
**S-02** SCALE : 1/4"=1'-0"

1 1/8"-20 GAGE SHEET METAL-CORROSION RESISTANT STRAPS. EVERY OTHER RAFTER

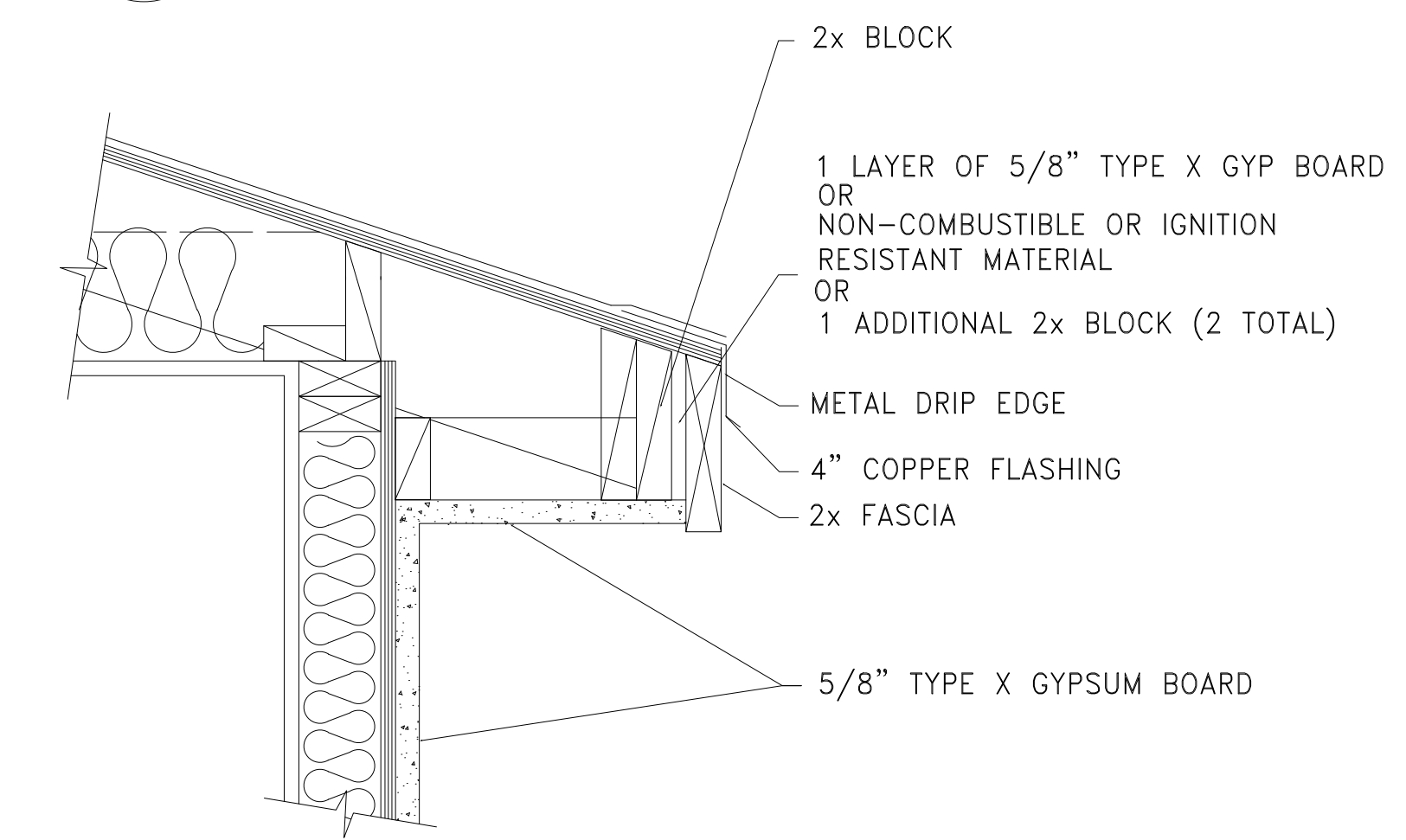


NOTE: 1 1/8"-20 GAGE SHEET METAL-CORROSION RESISTANT STRAPS. TYPICAL TO ALL STRAPS

**2** CONNECTING GABLE STUDS TO RAFTER AND TOP PLATE  
**S-02** SCALE : NTS



**3** VENT AT RIDGE  
**S-02** SCALE : NTS



**4** EAVE DEATIL  
**S-02** SCALE : NTS

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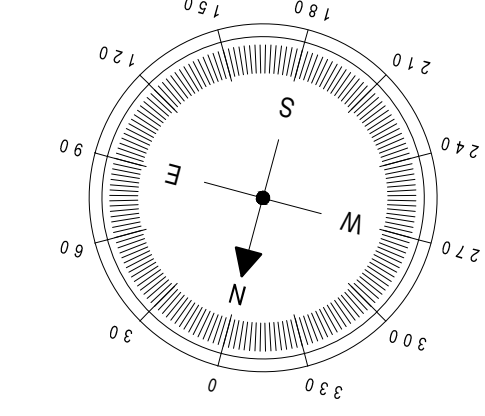
Project:

7138 MAPLE PARK DR, RICHLAND HILLS, TX 76118, USA

Title:

**MAIN BUILDING ROOF FRAMING PLAN**

Sheet :



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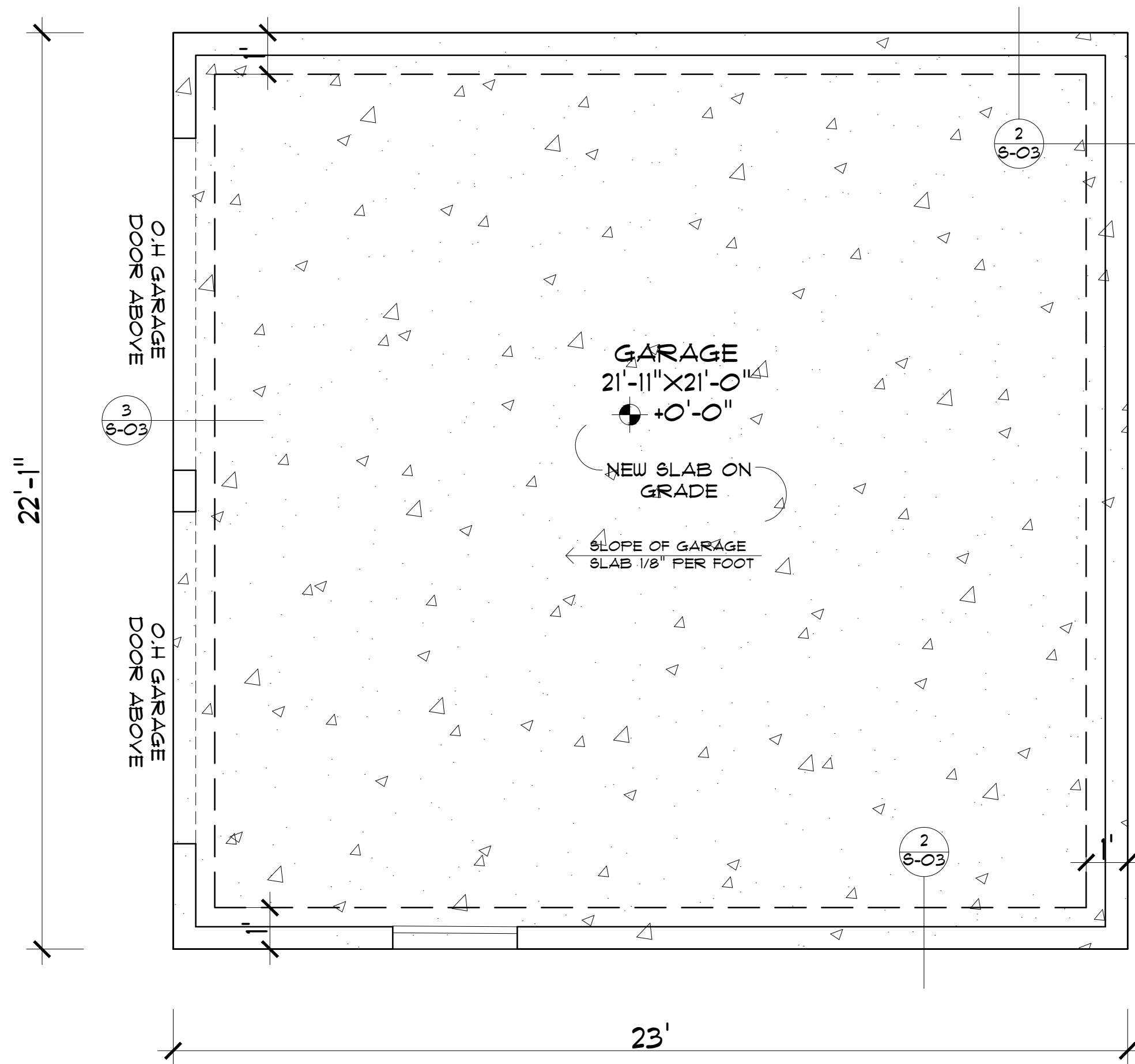
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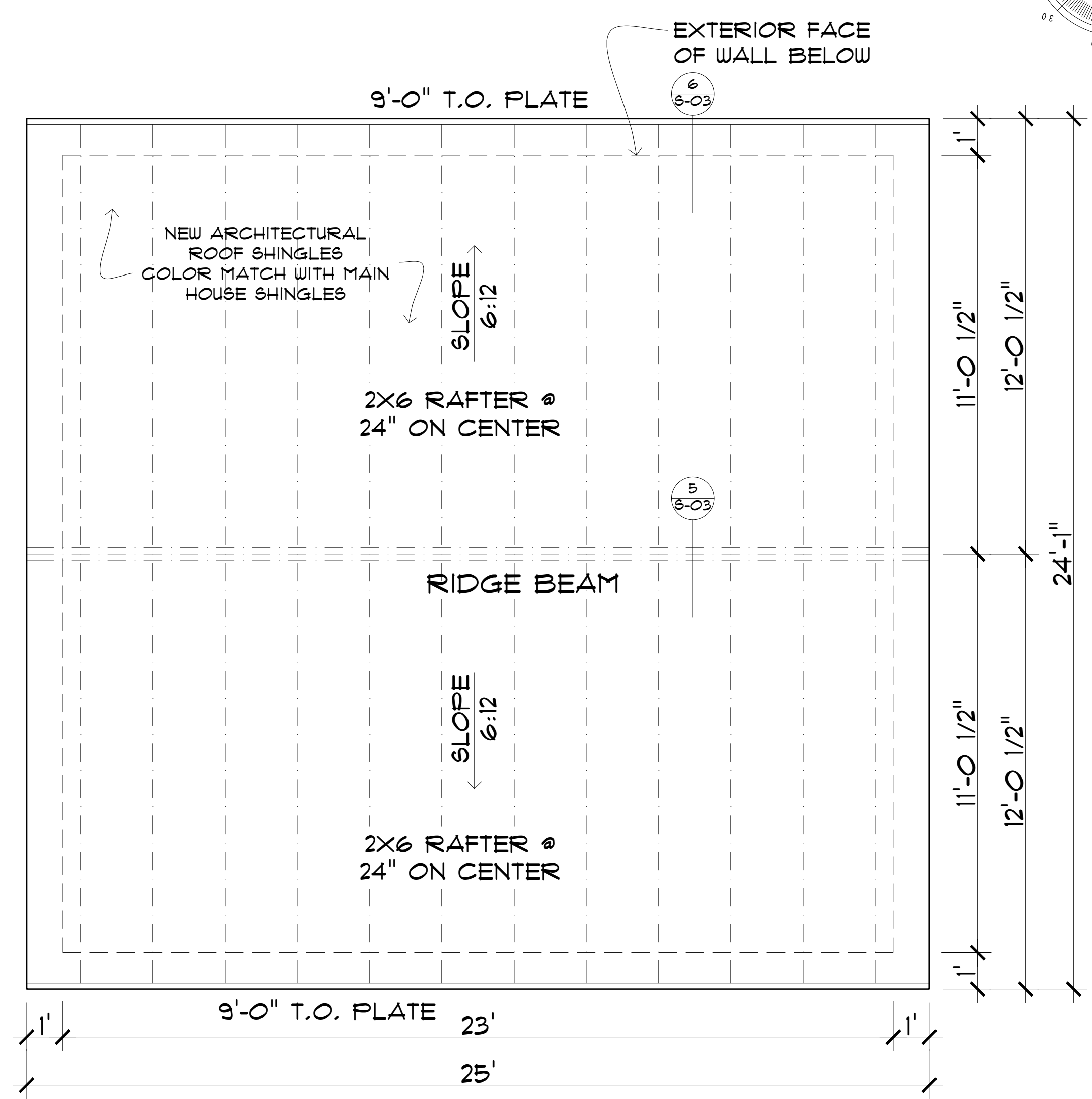
**DETACH GARAGE FOUNDATION AND ROOF FRAMING PLAN**

Sheet :

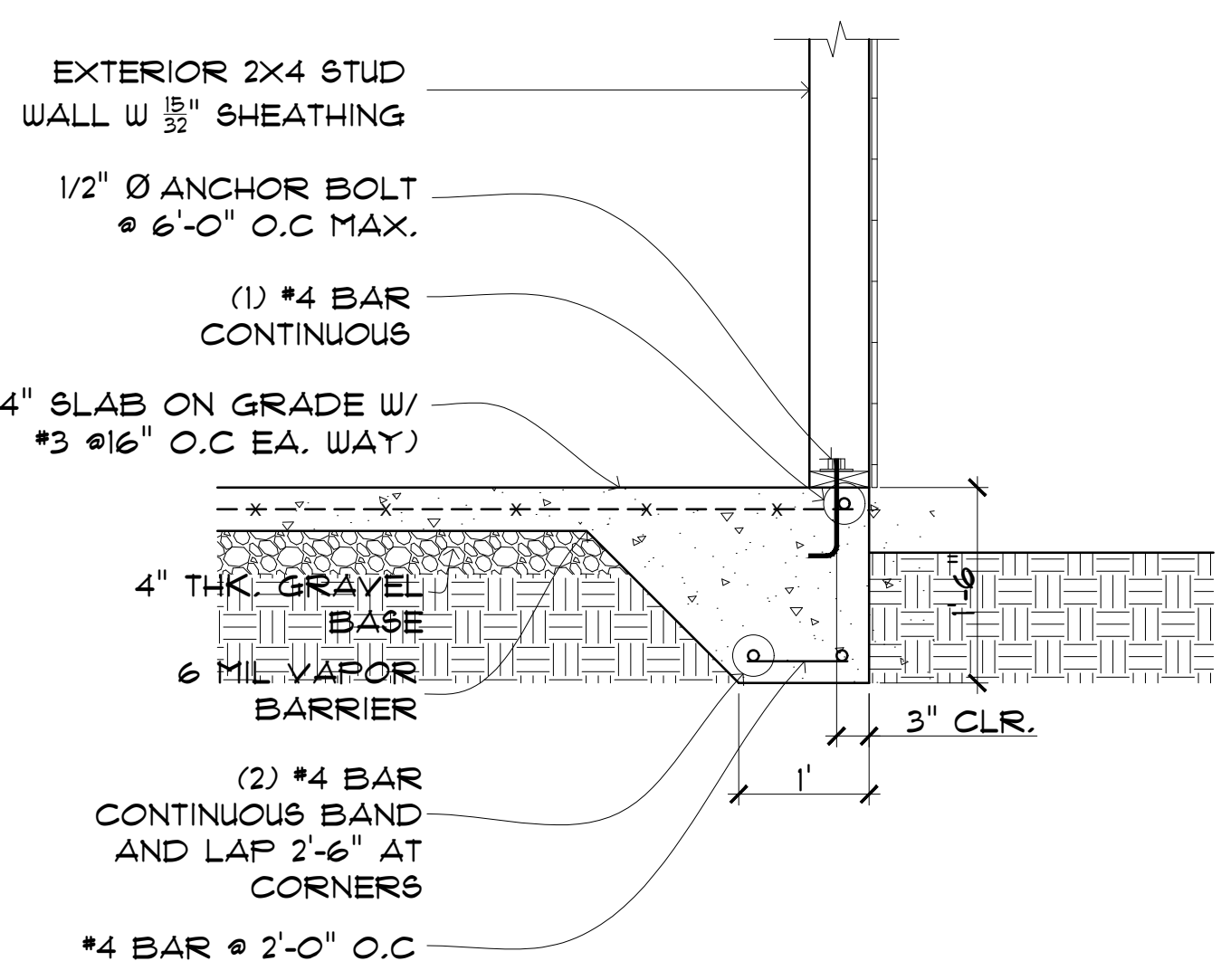
**S-03**



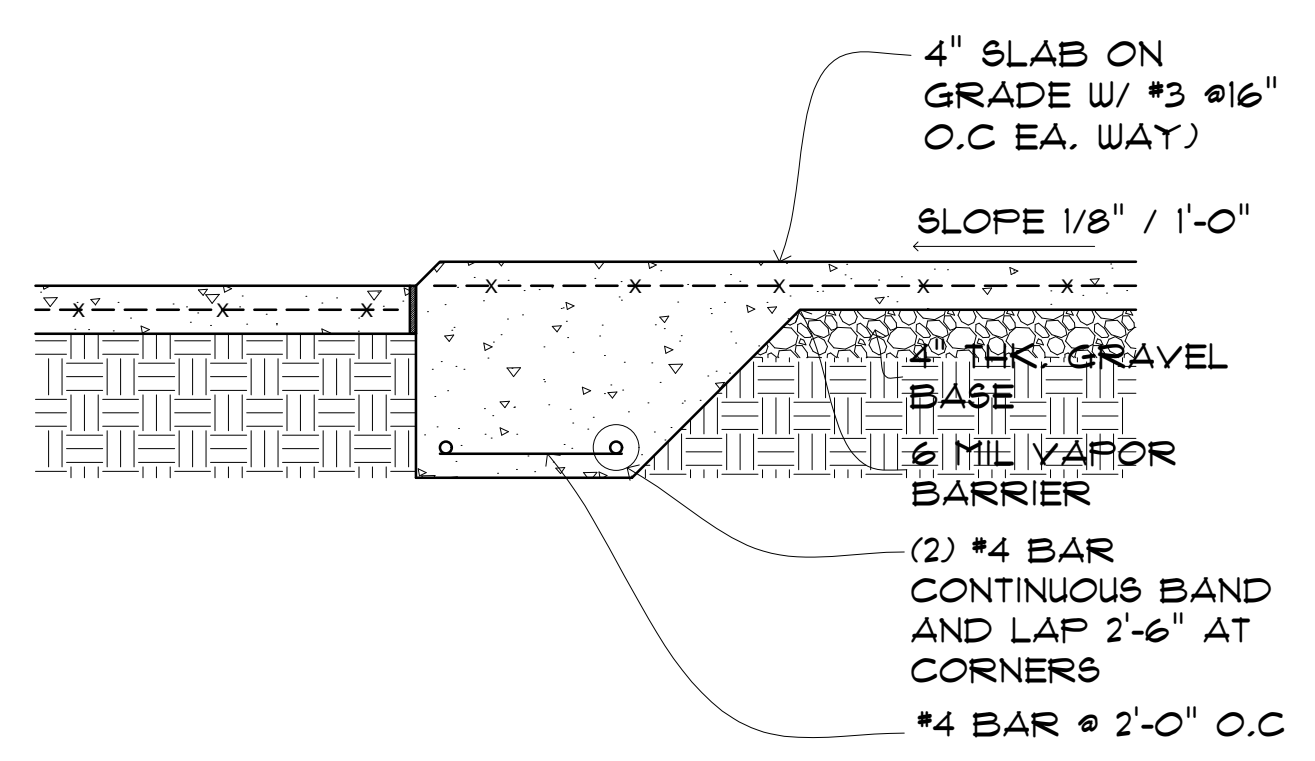
**1 DETACH GARAGE FOUNDATION PLAN**  
S-03 SCALE : 3/8"=1'-0"



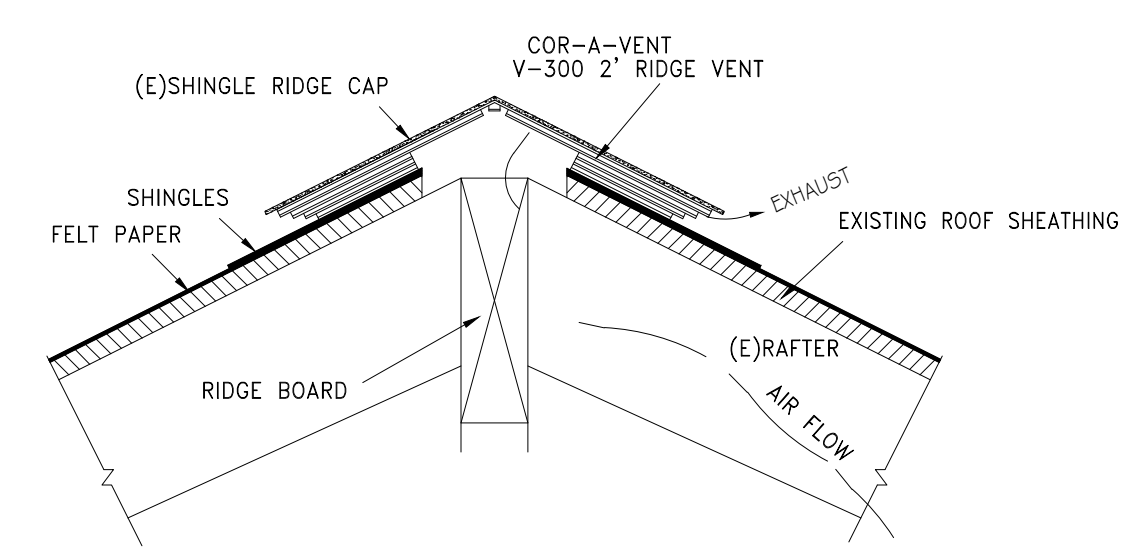
**4 DETACH GARAGE ROOF FRAMING PLAN**  
S-03 SCALE : 3/8"=1'-0"



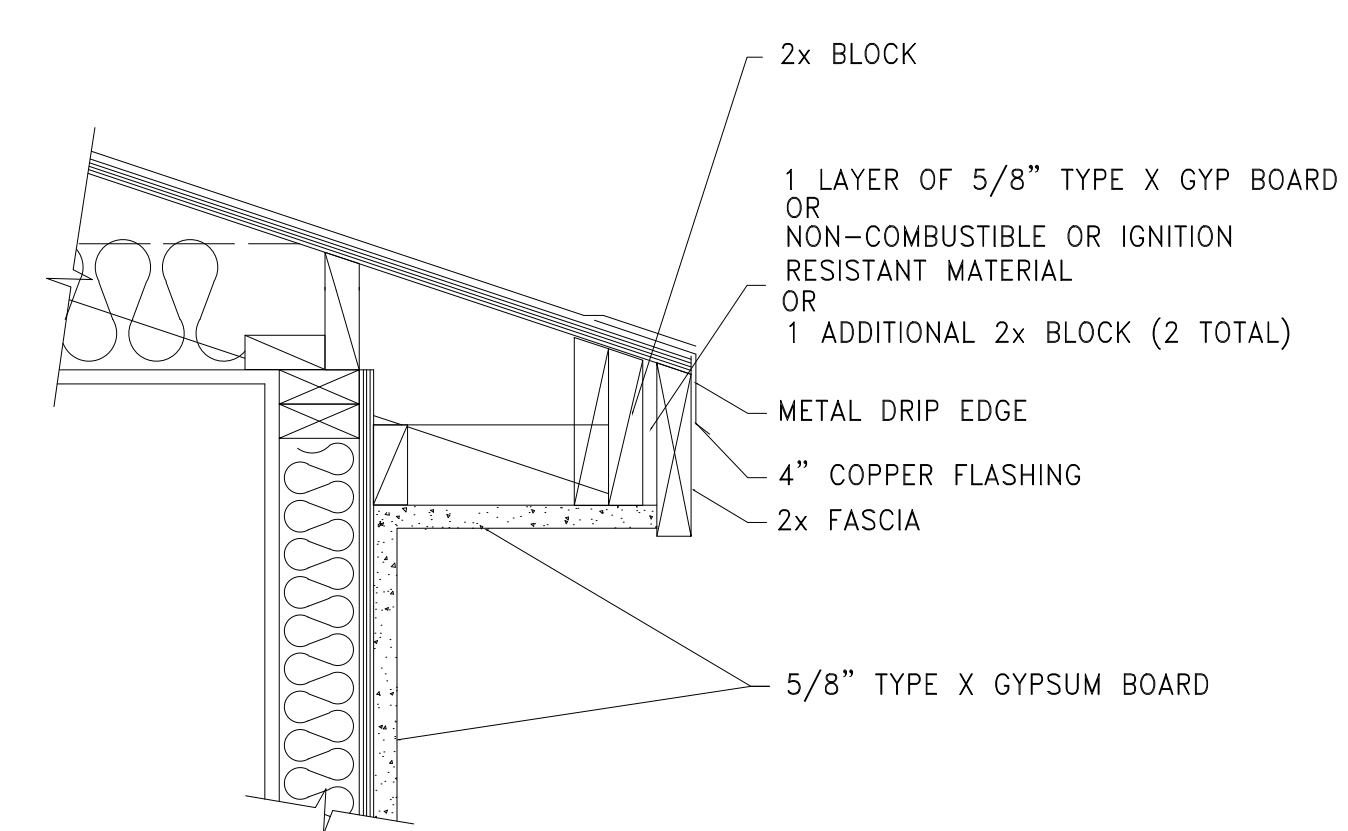
**2 FOUNDATION SECTION**  
S-03 SCALE : 3/8"=1'-0"



**3 FOUNDATION SECTION**  
S-03 SCALE : 3/8"=1'-0"

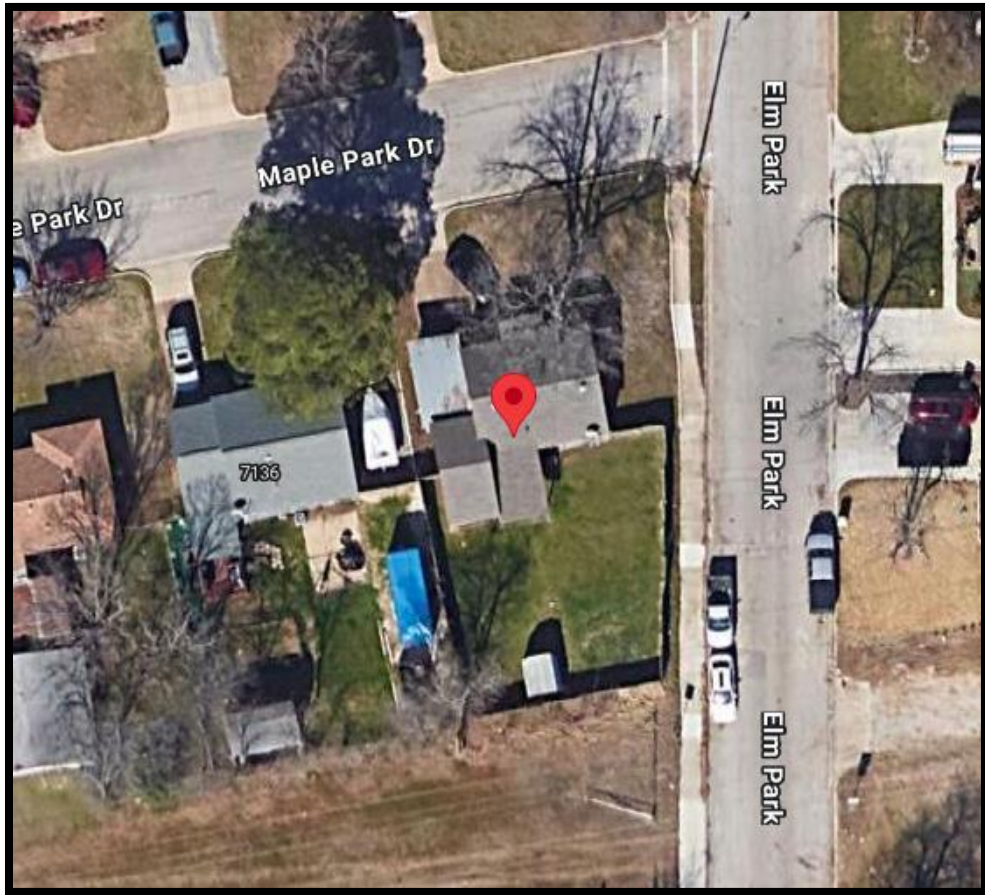


**5 VENT AT RIDGE**  
S-03 SCALE : NTS



**6 EAVE DETAIL**  
S-03 SCALE : NTS

## 7138 Maple Park Dr. Property Photos





## Section 6.12 - Zoning Variance

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### 6.12.01. Purpose and Applicability

- (A) *Cases for which a zoning variance may be granted.* The zoning board of adjustment may authorize a variance from the development regulations in this Zoning Ordinance such as the height (including number of stories), yard (including setbacks), lot area, lot coverage, structures (including size, density and location), parking requirements, performance standards and other development regulations contained herein.
- (B) *Variance criteria.* No zoning variance shall be granted without first having given public notice and having held a public hearing on the zoning variance request in accordance with section 6.03.02. Public Hearings and Notification Requirements for Zoning Related Applications, and unless the board of adjustment finds all the following criteria are met:
- (1) *Unique circumstances.* That there are special circumstances or conditions affecting the land involved such that the application of the Zoning Ordinance's provisions would deprive the applicant of the reasonable use of his/her land.
  - (2) *Minimum necessary relief required to alleviate the undue hardship.* The zoning variance, if granted, would be the minimum necessary relief required to alleviate the undue hardship.
  - (3) *Preservation of property rights.* That the zoning variance is necessary for the preservation and enjoyment of a substantial property right of the applicant.
  - (4) *No substantial detriment to the public good.* That the granting of the zoning variance will not be detrimental to the public health, safety or welfare, impair the purposes and intent of this Zoning Ordinance and the comprehensive plan or be injurious to other property within the area.
  - (5) *Orderly use of land.* That the granting of the zoning variance will not have the effect of preventing the orderly use of other land within the area in accordance with the provisions of this Zoning Ordinance.
  - (6) *Precedent.* The granting of an individual zoning variance will not set a precedent.
  - (7) *Finding of undue hardship.* In order to grant a zoning variance, the board of adjustment must make findings that an undue hardship exists, using the following criteria:
    - (a) That literal enforcement of the controls will create an undue hardship or practical difficulty in the development of the affected property; and
    - (b) That the situation causing the hardship or difficulty is neither self-imposed nor generally affecting all or most properties in the same zoning district; and

- (c) That the relief sought will not injure the permitted use of adjacent conforming property; and
- (d) That the granting of a zoning variance will be in harmony with the spirit and purpose of these regulations.
- (e) Financial hardship alone is not an "undue hardship" if the property can be used, meeting the requirements of the zoning district in which the property is located.

(C) *Variance limitations*

- (1) *Completed action required before a variance.* An application or request for a variance shall not be heard or granted with regard to any parcel of property or portion thereof upon which a site plan, preliminary plat, or final plat, when required by the Zoning Ordinance or the subdivision ordinance for any parcel of property or portion thereof, has not been finally acted upon by both the planning and zoning commission and, where required, by the city council.
- (2) *Exhausted all other options.* The administrative procedures and requirements of the Zoning Ordinance, and any amendments thereto, with regard to both the planning and zoning commission and city council consideration and action on site plans, preliminary plats, and final plats, must be exhausted prior to requesting a variance.

(D) *Public hearing required*

- (1) The board of adjustment shall hold a public hearing for each variance applicant and shall provide the notice and public hearing required by this Ordinance.
- (2) At the public hearing, the board of adjustment shall consider public comments, the zoning administrator's recommendation, and other applicable information and shall approve, approve with conditions, or deny the variance application.

(E) *Concurring vote of 75 percent required.* Pursuant to V.T.C.A., Local Government Code § 211.009(c), the concurring vote of 75 percent of the members of the board of adjustment is necessary to grant a zoning variance.

(Ord. No. 1273-14, § 1(Exh. A), 5-6-2014; Ord. No. 1296-15, § 2(Exh. A), 8-18-2015)